

TWO WELLS_SOUTH AUSTRALIA

MAIN STREET DESIGN GUIDELINES



Government of South Australia
Department of Planning
and Local Government

A photograph of a stone building with a green door and a stone wall in the foreground. The building has a textured, light-colored stone facade and a small arched window above the door. The foreground is dominated by a thick, rough stone wall. The sky is blue and there are some green plants on the left side.

The core project team has included Henri Mueller and Charles Mansueto (CEO) from the District Council of Malalla, The Project Steering Committee, Michael Edwards, David Gregory and Josephine Evans from JPE Design Studio, Warwick Keates and Mark Jackson from WAX Design.

A special thanks is extended to the Elected Members as well as all the members of the Two Wells Community who took part in the Community Consultation Sessions which have assisted in guiding the overall direction of the Two Wells Main Street Design Guidelines.

This report acknowledges the continued support of the State Government and Council through the 'Places For People' Program.

ACKNOWLEDGEMENTS

1.0	INTRODUCTION
1.1	PROJECT OBJECTIVES
1.2	TOWN GROWTH IN CONTEXT
2.0	ANALYSIS
2.1	MAIN STREET LAND USE
2.2	VISUAL CHARACTER
2.3	PEDESTRIAN & VEHICULAR MOVEMENT
2.4	STREETScape CHARACTER STUDY
2.5	MASTERPLAN REVIEW
2.6	OTHER CONSIDERATIONS
3.0	DESIGN PRINCIPLES
4.0	MAIN STREET ZONE
4.1	MAIN STREET ZONE MAP
4.2	MAIN STRET ZONE OVERVIEW
5.0	PRECINCT PLANS
5.1	PRECINCT OVERVIEW
5.2	TOWN CENTRE
5.3	CIVIC & COMMUNITY
5.4	MIXED USE
5.5	COMMERCIAL
5.6	MARKET PLACE
5.7	LANDSCAPE & GREENBELT
5.8	CULTURAL
6.0	STAGING PLAN
7.0	MARKET PLACE CONCEPT DESIGN
8.0	CONCLUSION
	APPENDICES
	A. CONSULTATION OUTCOMES

CONTENTS



1.0_INTRODUCTION

Two Wells has been growing steadily and is set to undergo a period of considerable expansion to the north of the town, potentially accommodating up to 2500 new dwellings over the next 10-15 years. This residential growth will naturally put pressure on the Two Wells Town Centre, with increased demand for the provision of facilities and infrastructure to support this growing community.

The primary objective of this project is to develop a strong planning framework for the Main Street Precinct, by means of Design Guidelines and Desired Character Statements, to ensure that the existing Town Centre can be expanded over time in a manner that strengthens its special character.

In 2006 the District Council of Mallala started to explore the potential for the Town of Two Wells to accommodate further growth. The development of Urban Design Framework for Two Wells (KBR, 2006) provided a starting point for considerable growth.

Since the completion of the Urban Design Framework (KBR), the projected growth predictions for the area of Two Wells have significantly changed, bolstered further by the introduction of the 30 Year Plan for Greater Adelaide, which defines Two Wells as one of the planned future urban growth areas in the Barossa Region with regional targets of:

- 15 year supply zone (2009-2023)
- 139,000 population
- 57,000 dwellings
- 38,500 jobs
- 810H² regional employment lands

The shift in focus has resulted in the review of this original 2006 Master Plan and subsequent development of planning options was undertaken by the design team, to better define the spatial relationships between different land use precincts within the Town Centre and look at how Two Wells can accommodate the projected growth to it's community while retaining the current vibrancy and character of the town centre.

By working with the community of Two Wells, the District Council of Mallala, as well as broader stakeholder groups, these planning options were further developed, focusing on the following key principles:

- Retain and reinforce Two Wells' existing main street character
- Foster a sense of community and promote social interaction
- Centre around community open space (the Market Place)
- Realistically provide the necessary spatial requirements for new facilities
- Allow for the staged growth of the town
- Provide strong visual and physical links between new and existing development to maintain a vibrant and connected town centre
- Provide a strong connection between open space (Two Wells Historic Park) and the Town Centre
- Ensure that new development is integrated into the existing fabric of Two Wells to prevent the creation of two town centres.

The Design Guidelines have been developed around Planning Option 4, which was approved by Council on 26 July 2010.

This planning option also received the greatest support from the community; in the way that it balances the need for the development of community land south of Old Port Wakefield Road for commercial land use with the provision of strong connections to open space and the creation of a market place in the heart of the town.

Forming a detailed visual and verbal analysis of a place's current and/or desired future character, the Design Guidelines and Desired Character Statements for Two Wells Main Street Precinct are important tools that will communicate the look, feel and function of the public and private realm, providing an insight into the future place marking.

These tools will enable Council, Government and developers to work together to ensure that Two Wells grows in a way that respects the existing character of the area, with holistic consideration as to how a certain development may fit within the broader precinct framework.



The projected growth for Two Wells and the time frame in which this growth is to occur presents both challenges and opportunities for the town and its communities; present and future.

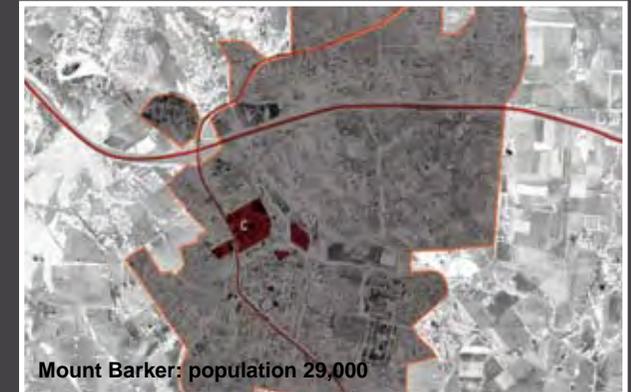
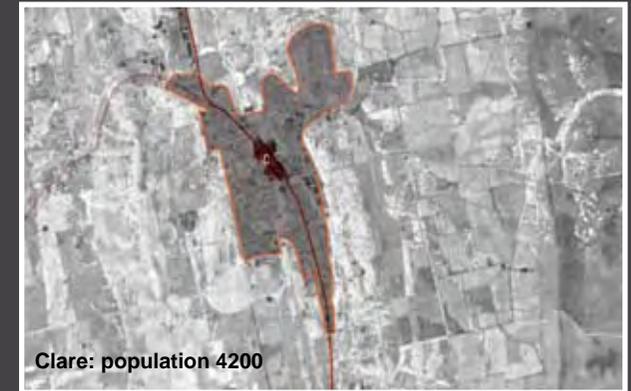
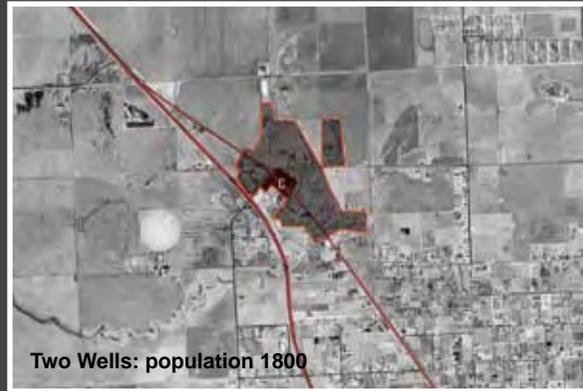
This series of scaled diagrams compares Two Wells town centre as it is today, alongside larger regional centres in South Australia including Clare, Murray Bridge and Mount Barker.

These diagrams aim to graphically illustrate the expected expansion of a town's footprint as its population grows and provide an example of the degree of change expected within the next 15 years.

With a similar 'main street focus' town centre structure to Two Wells, Clare gives a good example of a town supporting 4200 residents. Two Wells could be expected to reach this population within the next 5 years.

If the population in Two Wells and the wider areas increase as projected to 10,000 people over the next 10-15 years, the town may well need to match the size of Mount Barker as it is today. The diagram of Mount Barker opposite shows the disbursed commercial centre and extensive residential development that has evolved due to the intense growth rate of the town.

By examining these other townships, the need to proactively plan for a town's anticipated expansion becomes evident, to minimise sprawl, retain character and provide strong connections to the existing town centre, to increase the liveability and sustainability of the town as a whole.



population figures obtained from census 2006 figures

1.2_TOWN GROWTH IN CONTEXT



2.0_ANALYSIS

ANALYSIS SUMMARY

The following analysis of the Main Street (Old Port Wakefield Road) and Town Centre of Two Wells includes mapping of existing land use, visual character & landscape and connections and wayfinding. This analysis has been used as a basis for the development of the Urban Design Principles.

MAIN STREET LAND USE

Two Wells' existing main street land use is uniquely defined by the commercial/retail focus of the north eastern side of the street and the Civic, community service and open space focus of the south western side of the street.

The higher density and height of built form along the north eastern street front is interspersed by laneways leading to car parking, additional commercial tenancies and storage sheds, which contribute to the character of the main street while providing opportunity for further connection to the residential areas behind the main street.

The continuity of built form along this side of the street is broken up by several large vacant sites, which detract from the vibrancy of the main street.

The south western side of the main street has a predominantly civic function and features several state heritage listed buildings; the library (former institute building) and old court house.

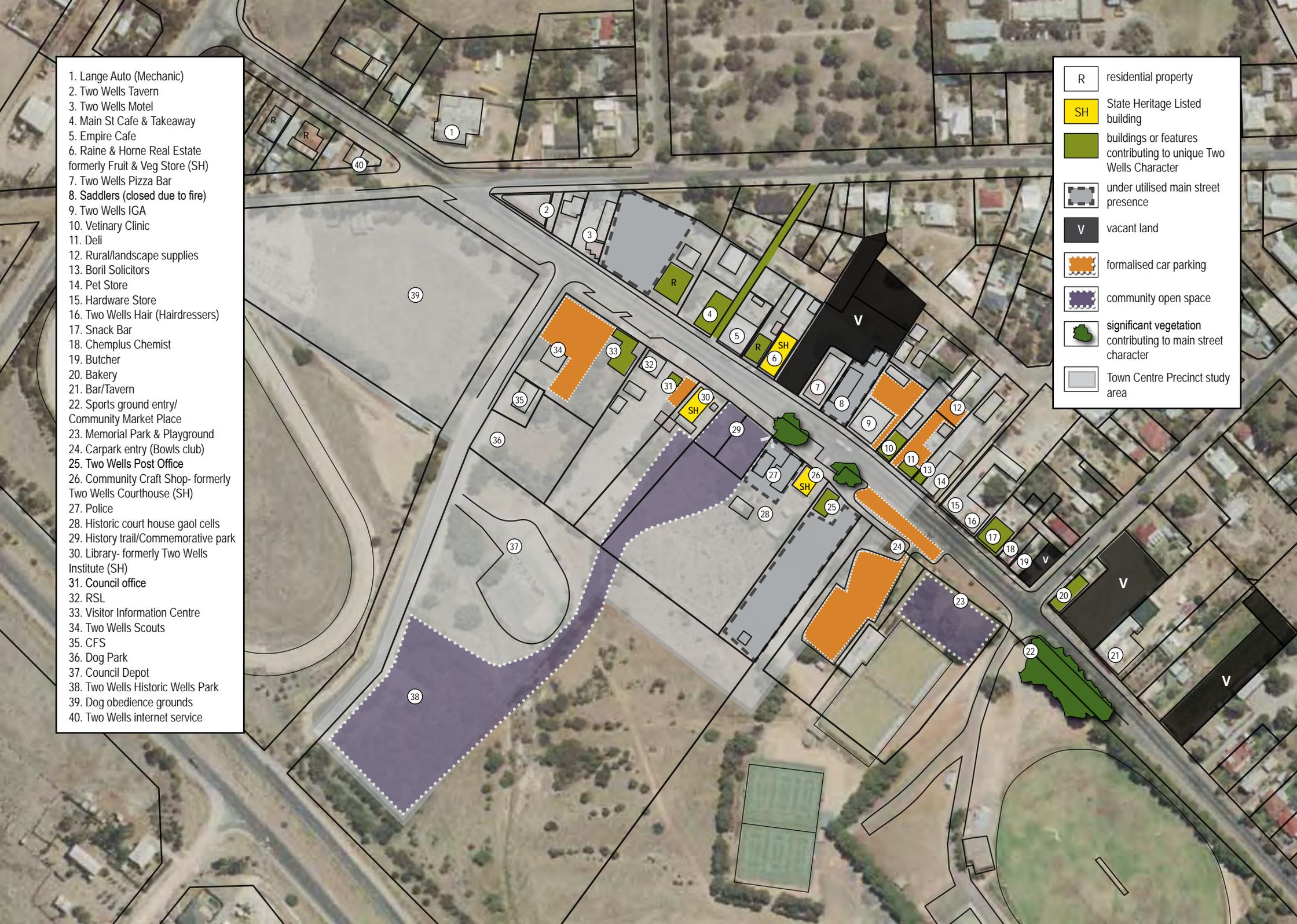
The eastern end of the street features a public park and car parking facilities associated with the bowling club and tennis courts.

The on street parking adjacent the bowling club car park is well utilised by the community.

The commemorative park and historic walkway located between the library and police station contains evidence of the indigenous and settlement history of the town, but does not present a functional and high aesthetic community space. Further south west the Historic Wells Park contains the original wells after which the town was named, but this facility does not function well as a community park in its current form, due to the lack of amenity and connectivity with the town.

1. Lange Auto (Mechanic)
2. Two Wells Tavern
3. Two Wells Motel
4. Main St Cafe & Takeaway
5. Empire Cafe
6. Raine & Horne Real Estate formerly Fruit & Veg Store (SH)
7. Two Wells Pizza Bar
8. Saddlers (closed due to fire)
9. Two Wells IGA
10. Veterinary Clinic
11. Deli
12. Rural/landscape supplies
13. Boril Solicitors
14. Pet Store
15. Hardware Store
16. Two Wells Hair (Hairdressers)
17. Snack Bar
18. Chemplus Chemist
19. Butcher
20. Bakery
21. Bar/Tavern
22. Sports ground entry/Community Market Place
23. Memorial Park & Playground
24. Carpark entry (Bowls club)
25. Two Wells Post Office
26. Community Craft Shop- formerly Two Wells Courthouse (SH)
27. Police
28. Historic court house gaol cells
29. History trail/Commemorative park
30. Library- formerly Two Wells Institute (SH)
31. Council office
32. RSL
33. Visitor Information Centre
34. Two Wells Scouts
35. CFS
36. Dog Park
37. Council Depot
38. Two Wells Historic Wells Park
39. Dog obedience grounds
40. Two Wells internet service

R	residential property
SH	State Heritage Listed building
	buildings or features contributing to unique Two Wells Character
	under utilised main street presence
V	vacant land
	formalised car parking
	community open space
	significant vegetation contributing to main street character
	Town Centre Precinct study area



VISUAL CHARACTER

The visual character of Two Wells is largely defined by the town's form, landscape character and topography. This combination of physical effects provide a visual context, creating frames, views and vista.

Understanding the visual character of the town provides a framework that supports the urban design and public realm of Two Wells. Important factors such as land marks, view corridors and legibility once assessed, can strengthen the new fabric of the town.

The journey into Two Wells either via the Mallala Road or past the sport fields at the eastern end of Old Port Wakefield road provides views through well established vegetation and contributes to the rural character experience of the journey into the township.

The gentle topography of the town and in particular the alignment of the main street along the ridgeline provides clear vistas from the centre of town in both directions along Old Port Wakefield Road.

Key landmarks including the Two Wells Tavern and the Alepo pine trees at the entrance to the oval create visual bookends to the main street, while the Alepo pines and state heritage 'Fruit & Veg' building stand out as visual landmarks at the top of the ridge in the centre of the main street.

There are also several areas along the north western end of the main street where the lack of built form character creates voids in the generally high character experience of the main street.

The Council Depot, South West of Old Port Wakefield Road, is also a visual detractor, which reduces the amenity of the cultural pathway to the Two Wells Historic Park.



Entrance lacks 'eye catching' quality required to draw people into town

empty land or poor built form aesthetic creates void in character continuity of main street

views through gum trees to trotting track - rural character entrance

important visual outlook from high point in street

rural character outlook

unique character outlook (Petticoat Lane)

Two Wells Tavern - visual 'bookend' to main street

visual landmark (2 storey state heritage fruit & veg store)

visual landmark (A lepo pines in town centre)

history trail requires improvements so that it presents as a high quality community space

views to depot from Two Wells trail undesirable

stand of A lepo Pines creates visual 'bookend' to mainstreet

views to oval through pines - part of arrival experience (strong rural character)

visual form of car parking reduces the amenity of this space - and the visual connection from the main street to the sporting grounds

vegetation creates visual buffer from highway to Historic Wells Site. Potential to create visual connection with Two Wells historic site as visual landmark from highway

vegetation acts as important visual buffer to highway. Contains sports grounds views/vistas

-  character vista outlook
-  character 'views in motion'
-  visual landmark/anchor in town centre precinct
-  void in visual character continuity of main street
-  undesirable views (not reinforcing character)
-  visual buffer/block
-  area not promoting vibrant main street character
-  significant vegetation areas
-  high quality visual character area

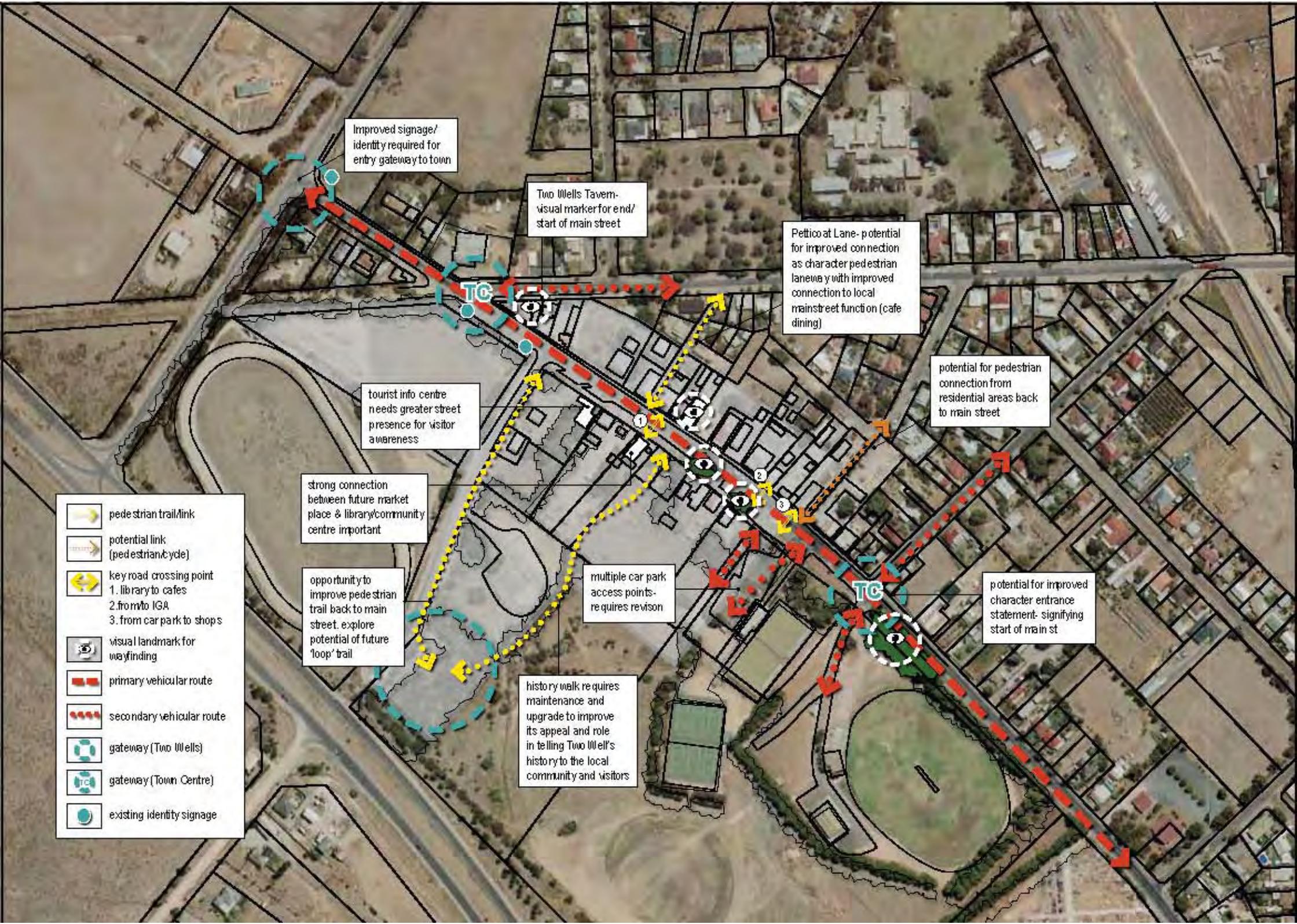
PEDESTRIAN AND VEHICULAR MOVEMENT

While no longer centred on a main transport corridor, the town's proximity to the Port Wakefield Road and its geographic position as the last township before Port Wakefield means that the Two Wells town centre still receives a degree of visitor traffic and larger format vehicles including trucks and caravans.

The road widths and stopping bays along the main street as it currently stands, combined with angle parking in the town centre and keyhole parking to the back of commercial allotments supports both this visitor traffic as well as local traffic.

The recent redevelopment of the main street's footpath system promotes the town centre as a high quality pedestrian friendly realm. Important links between the built form, most notably Petticoat Lane, assist in reinforcing the connectivity of the town centre to the residential areas to the north.

Further pedestrian connections to the southern side of the main street lead to the Historic Wells Park. There is potential for this trail to provide greater benefit to the community through improvements to increase its amenity, safety, and visual connection to the main street.



Improved signage/
identity required for
entry gateway to town

Two Wells Tavern-
visual marker for end/
start of main street

Petticoat Lane- potential
for improved connection
as character pedestrian
laneway with improved
connection to local
mainstreet function (cafe
dining)

potential for pedestrian
connection from
residential areas back
to main street

tourist info centre
needs greater street
presence for visitor
awareness

strong connection
between future market
place & library/community
centre important

opportunity to
improve pedestrian
trail back to main
street, explore
potential of future
'loop' trail

multiple car park
access points-
requires revision

potential for improved
character entrance
statement- signifying
start of main st

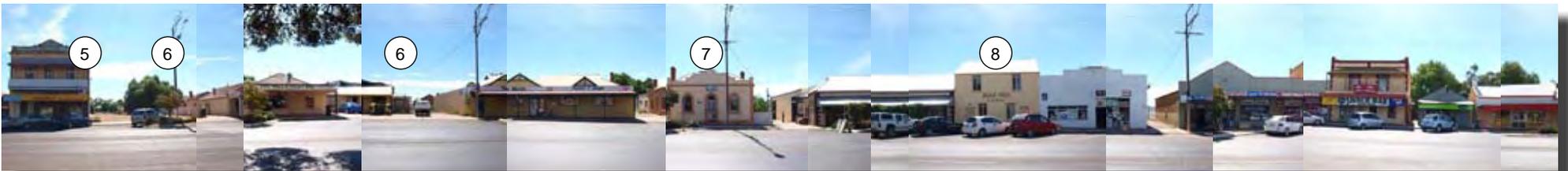
history walk requires
maintenance and
upgrade to improve
its appeal and role
in telling Two Wells's
history to the local
community and visitors

-  pedestrian trail/link
-  potential link (pedestrian/cycle)
-  key road crossing point
1. library to cafes
2. from IGA
3. from car park to shops
-  visual landmark for wayfinding
-  primary vehicular route
-  secondary vehicular route
-  gateway (Two Wells)
-  gateway (Town Centre)
-  existing identity signage

The following photo-stitches illustrate the current form, scale, bulk and materiality of the town centre of Two Wells along Old Port Wakefield Road.

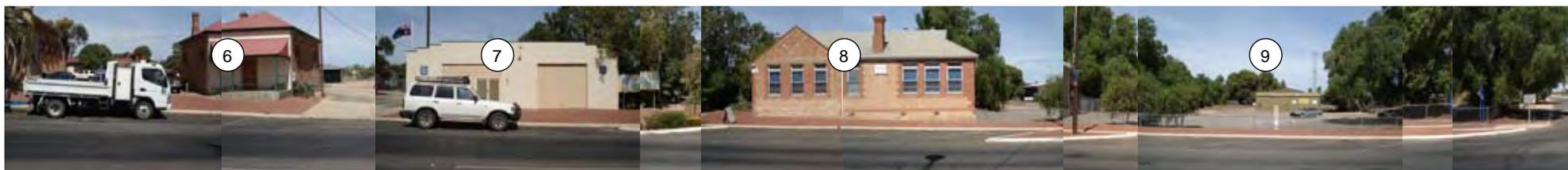
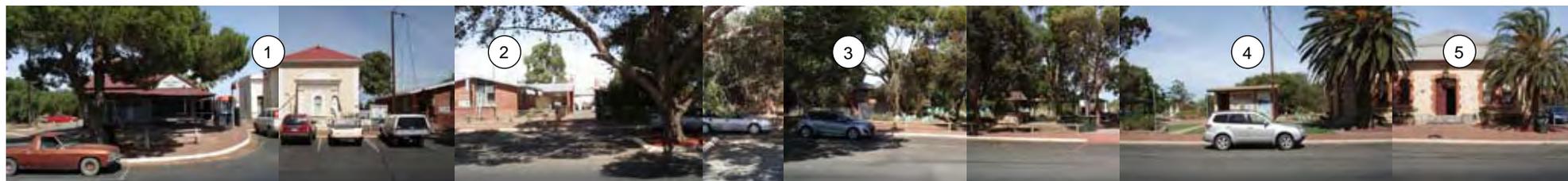
This analysis of the existing main street character forms another part of the basis for the design guidelines. By identifying the site specific characteristics that define the main street of Two Wells, guidelines can be formed to ensure that new and infill development respond appropriately to this unique context.

1. Maintain built form significance of hotel
2. Opportunities for increased development heights that respond to the existing scale of the hotel
3. Infill development opportunities that respond to height and scale of existing buildings
4. Maintain laneway and built form punctuation
5. Maintain significance of heritage building and consider set down of adjacent development to avoid dominating existing built form
6. Infill development opportunities making the scale and form of existing urban fabric
7. Maintain the perforated streetscape form with laneways
8. Reflect the varied roofscape within new development forms



2.4_STREETSCAPE CHARACTER STUDY

1. Maintain heritage significance of the Old Court House building
2. Opportunities to redevelop streetscape
3. Maintain open space character
4. Remove toilet block to provide better visual connections
5. Enhance the urban and civic setting of the library
6. Provide responsive infill development that completes the streetscape character while avoiding dominating built forms
7. Potential to redevelop streetscape character as part of main street development
8. Protect heritage character of old school building
9. Potential 2-3 storey development site capitalising on low lying location and opportunity to provide a gateway built form for Two Wells





SIGNAGE TO JUNCTION

EXISTING WETLAND TO STORMWATER, PROVIDE HABITAT AND ATTRACTION TO PROVIDE ATTRACTIVE TOWN ENTRANCE FEATURE

PROPOSED FUTURE RESIDENTIAL/AGED CARE DEVELOPMENT

PROPOSED FUTURE COMMERCIAL DEVELOPMENT

GAWLER ROAD

WAINMILL ROAD

NEW QUALITY ALFRESCO DINING AREA TO FRONT OF PUB FEATURING TABLES WITH UMBRELLAS, PLANTERS AND GLASS SCREENING

SHOP SIGNAGE REPLACEMENT STRATEGY TO IMPROVE STREETSCAPE CHARACTER

STREETSCAPE PAVING EXTENDED TO ENHANCE MAIN STREET APPEAL

PROPOSED UNDERGROUND COVERED SERVICES WITHIN MAIN STREET

CONSISTENT PALETTE OF COLOURS AND ELEMENTS ON EXISTING INFRASTRUCTURE TO CREATE UNIFIED STREET APPEARANCE

APPLEBEE ROAD

ROWE CR

DENSELY PLANTED 12M VEGETATIVE BUFFER TO EDGE OF DEVELOPMENT SITE

EXISTING DOG PARK AND TROTTERING TRACK AREAS TO BE REZONED AS 'MIXED USE' FOR FLEXIBILITY OF FUTURE DEVELOPMENT OUTCOMES

POTENTIAL LOCATION FOR SERVICE ROADS

PROPOSED RESTAURANT/CAFÉ PRECINCT WITH OUTDOOR SEATING AREAS AND PAVED CONNECTIONS TO NEW DEVELOPMENT

PROPOSED PUB

PROPOSED RESTAURANT/CAFÉ

POSSIBLE FUTURE COMMUNITY MEDICAL CENTRE

NEW PUBLIC TOILET FACILITY

PROPOSED GARDENS DELEGATED TO OTHER SIDE OF MARKET PLAZA

POSSIBLE HELPED TO BE DEVELOPED WITH FUTURE MEDICAL FACILITIES

PROPOSED EMERGENCY SERVICES AND POLICE STATION WITH POSSIBLE NATURAL RESOURCE MANAGEMENT CENTRE

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PROPOSED EMERGENCY SERVICES AND POLICE STATION WITH POSSIBLE NATURAL RESOURCE MANAGEMENT CENTRE

EXISTING COMMUNITY FIELD NOW UPGRADED TO HERITAGE STYLE

MARKET PLAZA CONNECTION HIGHLIGHTED BY FEATURE PAVING WHICH EXTENDS TO THE ROADWAY

OVERPASS TO RECEIVE CONSISTENT LIGHTING POINT FEATURE

BUSINESS SHOULD BE ENCOURAGED TO UPGRADE SHOPFRONTS TO IMPROVED MAIN STREET APPEARANCE

FOOTWAYS WIDENED, CAR PARKING RATIONALISED AND ACCESS IMPROVED

DEFINING TOWN CENTRE STREETSCAPE TREATMENT TO EXTEND FROM DREW STREET TO GAWLER ROAD

DREW ST

DREW ST

OVERFLOW MARKET AREA

HARDSTAND OVERFLOW CAR PARKING

RECONSTRUCTED CAR PARKING

BOWLS

RELOCATED DOG PARK

TRICYCLE

TRICYCLE

TRICYCLE

TRICYCLE

TRICYCLE

TRICYCLE

TRICYCLE

TRICYCLE

PROPOSED FUTURE SPORTING CENTRE

TENNIS

POTENTIAL ALTERNATE SCHOOL ACCESS ROUTE

POSSIBLE FUTURE PLAYGROUND

OPPORTUNITY FOR UPGRADED SPORTS CLUB FACILITIES

OVAl

'SECOND CHANCE' TWO WELLS SIGNAGE

POSSIBLE ADDITIONAL ROAD CONNECTION TO FACILITATE SCHOOL ACCESS

SCHOOL ENTRANCE

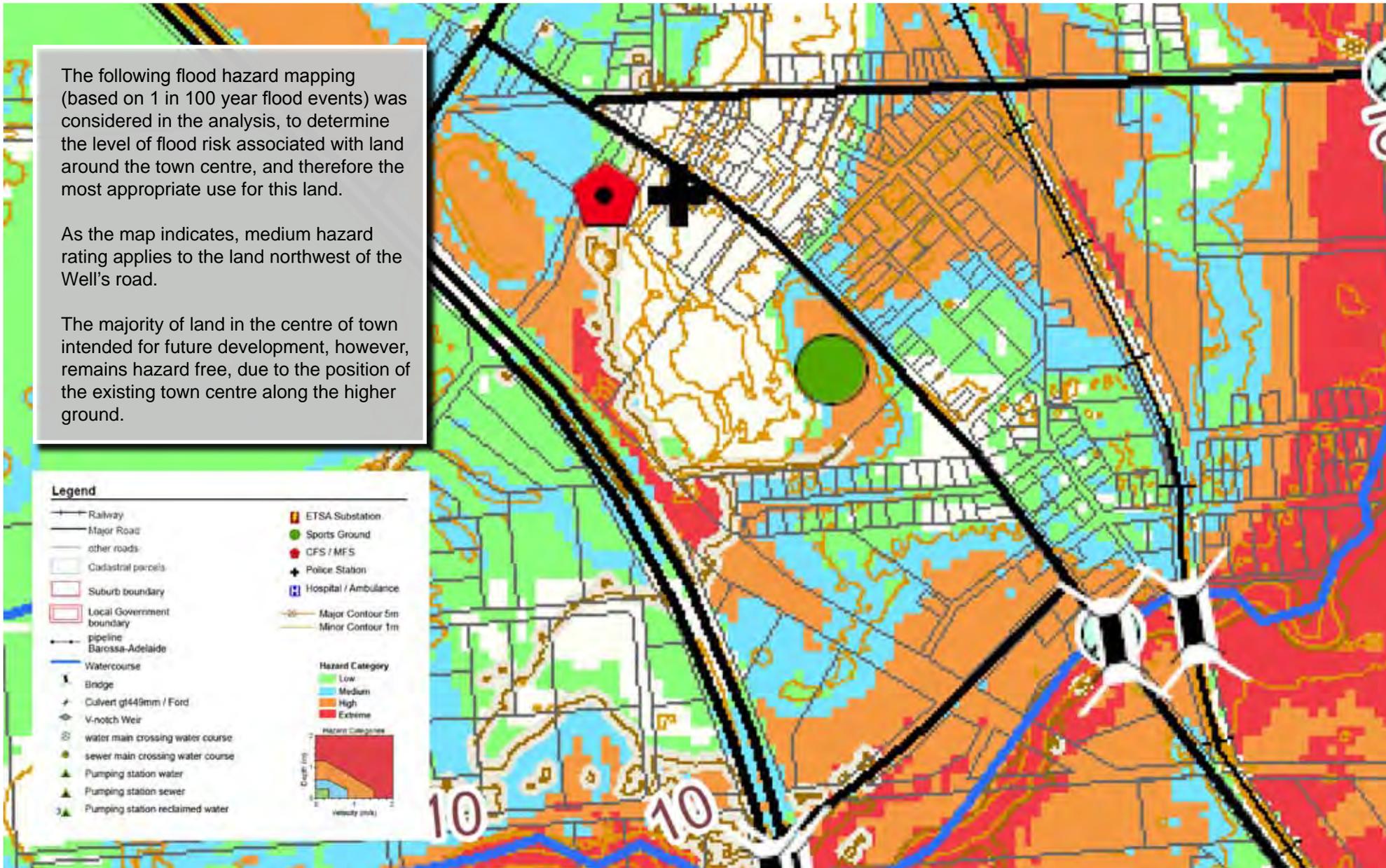
CYCLE SPIED

CONNECTION

The following flood hazard mapping (based on 1 in 100 year flood events) was considered in the analysis, to determine the level of flood risk associated with land around the town centre, and therefore the most appropriate use for this land.

As the map indicates, medium hazard rating applies to the land northwest of the Well's road.

The majority of land in the centre of town intended for future development, however, remains hazard free, due to the position of the existing town centre along the higher ground.



2.6_OTHER CONSIDERATIONS



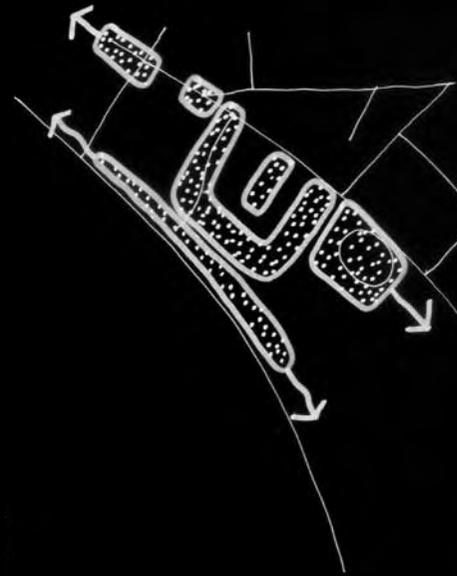
3.0_DESIGN PRINCIPLES

The Urban Design Principles for Two Wells respond to the town's current form and character to provide a strong underlying framework for future town planning as well as informing the development of future precinct plans for the town



TOPOGRAPHY

- Elevated Ridge to centre of town
- Ridge line parallel to Main Street
- Low lying land to southwest



OPEN SPACE

- Connect and improve existing open space
- Integrate open space within proposed development areas
- Establish market place



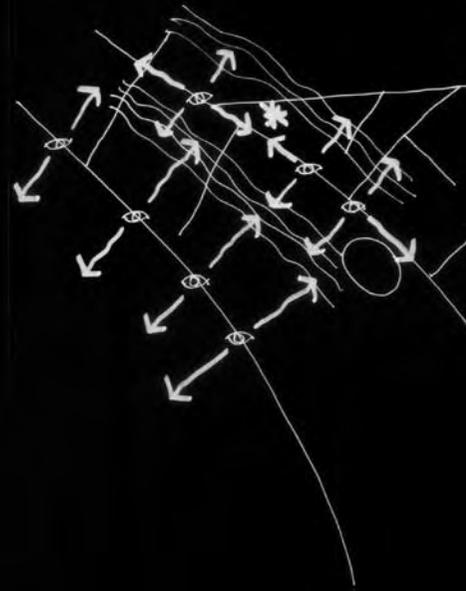
SCALE

- Defined scale to Main Street
- Need to respond to existing scale
- Opportunities to increase scale in response to land form and to offset impact of Port Wakefield Road



SOUND

- Noise gradient across the site
- Traffic dominance along Port Wakefield Road
- Need to preserve Main Street sounds
- Built form to act as noise wall



VISIBILITY

- Defined views along Main Street to higher ground
- Glimpsed views between buildings
- Dynamic views along Port Wakefield Road



ACCESS

- Need to define access points
- Increase access within future development areas
- Develop strong pedestrian & cycle access network



PERMEABILITY

- Fragment edge to Main Street
- Laneway access to rear of building
- Need to maintain permeable qualities of Main Street
- Pedestrian access east-west



4.0_MAIN STREET ZONE



4.1_MAIN STREET ZONE MAP

The anticipated growth of Two Wells requires the progressive regeneration of the Main Street to ensure that the town is able to adapt to meet the future needs of the community. The urban design guidelines for Two Wells consider a precinctual approach to the town, with seven precincts combining to form the Main Street Zone:

1. Town Centre
2. Civic & Community
3. Mixed Use
4. Commercial
5. Market Place
6. Green Space & Landscape Corridors
7. Cultural

Each precinct responds to the existing characters, future land use demands as well as providing improvements in the urban realm.

As a whole, the Main Street zone aims to provide high levels of civic and commercial function, community engagement, landscape value and sustainability, while reinforcing the role of the town centre

Old Port Wakefield Road remains as a northwest-southeast arterial spine. Laneways, promenades and other spaces provide links, stitching the fabric of the town together, whilst providing accessibility and walkability.

The Main Street Zone is defined by a graduated sense of form and function, which responds to the existing character of the town and the design principles defined in Section 3. There will be a transition in the scale and pattern of development within the Zone (northeast –southwest), with future development forms responding directly to the

existing building form along Old Port Wakefield Road, the grandeur of the civic precinct and the modern floor area demands of the proposed commercial centre to the southwest.

This progressive scale and form also provides a strong township edge, protecting Two Wells from the impacts of Port Wakefield Road corridor. New and improved pedestrian links connect the town, reinforcing the permeability that exists. Similarly, the interaction of the buildings and open spaces provides a legible visual environment defined by vistas and view lines.

While the Main Street Zone will see substantial modification to existing community land within Two Wells, the development of this land provides opportunities to improve open space quality, increase the amenity and value of the public realm and provide opportunities for stormwater management.

The Main Street Zone and the associated precincts provide Two Wells with a set of specific urban design responses that balance the needs of the existing town centre with the demands of a growing and increasingly contemporary community.

The proposed regeneration integrates community open space, historic sites, new retail centres, commercial premises and civic buildings within the existing character of the town. The Main Street Zone is a unique development response for Two Well, that neither takes a protectionist or 'growth at all costs' point of view. Instead, future development is progressive and contextual, where the rich qualities of the Two Wells today drive future regeneration.





5.0_PRECINCT PLANS



3

4

2

1

5

2

4

3

6

4

7

TWO WELLS MAIN STREET ZONE PRECINCTS

The Main Street Zone Precinct Plan (opposite) shows the proposed relationship of differing land use precincts within the Main Street Zone, and acts a broad framework for Two Well's progressive expansion, based on the Design Principles and the demand for future growth.

These precincts have been defined under the following titles:

1. Town Centre
2. Civic & Community
3. Mixed Use
4. Commercial
5. Market Place
6. Green Space & Landscape Corridors
7. Cultural

In line with the Better Development Guide introduced by the Department of Planning and Local Government in 2010, each Precinct has been defined by means of its desired character, function, pattern of development, public realm, built form and landscaping.

Specific design guidelines relating to both built form, public realm and landscape area are also defined, to provide a clear set of criteria for any development within these precinct. Where applicable, the character of car parking has been incorporated into specific precincts.

Examples of materiality, form, colour and scale provided through the imagery accompanying each set of precinct guidelines assist to graphically communicate these principles.

While each precinct has been defined in its own right, the Design Guidelines work as a cohesive whole, ensuring that future development within the Main Street and Town Centre of Two Wells respects the existing character of the township, while still being forward looking so as to encourage innovation, and promote the integration of new facilities into the existing urban fabric.



vari
along scale tree

selections
kefield
ages
in
kin
ratio
og

microclimatic
Limit dramatically
features diversity
supplemented
species
creating
door
solid
sustainable
widths
compliments
activate
storeys
Heritage
Additional
void Opportunities
undergrounding
Listed - exp
develop
side design
increase
already planting
order
future
encouraged
considered
boundaries
providing
laneways
styles
Longer
exotic
country
rmaised
inforcing
gement
beds
landscape
reinforce
and/or stepping
vibrant
doorways
Centre
treatments
appearance
typical
sensitive
beauty
create
part
achieve
Port forms
exceed
normability
bl
tre

5.2-TOWN CENTRE

DESIRED CHARACTER STATEMENT

The desired character for the Town Centre Precinct of Two Wells builds upon the existing building form, land uses and spatial arrangements. The Town Centre will remain the commercial and social heart of the town reflecting its vibrancy, diversity and community values.

FUNCTION

The Town Centre Precinct is defined as the buildings, open spaces and road corridor to the north western side of Old Port Wakefield Road between Windmill Street and Drew Street. This precinct will remain the thriving commercial and retail main street of Two Wells with a strong sense of community that builds on the existing form and function of the area.

Historic buildings will be retained and enhanced and ensure adaptive reuse and longevity. New buildings are encouraged that respond to the existing function and character of the precinct. It is anticipated that the precinct will consist of a mix of small-scale shops and offices, hospitality venues, community services (including banks, consulting rooms & veterinary surgery) and residential development as part of the mixed use precinct.

PATTERN OF DEVELOPMENT

The Town Centre Precinct will be formed by combination of existing and new development which will create a cohesive streetscape to the north western edge of Old Port Wakefield Road. The urban fabric will be punctuated by laneways, open spaces and access point that maintain the sense permeability while new building forms will punctuate the streetscape character of Old Port Wakefield Road. In turn, reinforcing the urban structure of the town.

The pattern of development will reinforce the existing commercial edge of the town, providing access and activation within the precinct. Parking area to the north will be organised to maximise access and parking provision, while maintaining pedestrian access and permeability along rejuvenated side streets.

The redevelopment of vacant land will be encouraged along Old Port Wakefield Road and Applebee Road to create a richer tapestry of new and existing building forms and land uses.

It is expected that new development along Applebee Road will create a built form edge between the commercial land use of the precinct and the residential areas to the north. This new development edge will focus on mixed use opportunities, age care and medium density residential.

The purpose and accessibility provided by Petticoat Lane will be increased creating a strong north east-south west connection point to Old Port Wakefield Road and the rest of the town.

Consideration will also be given to apartment dwellings above commercial premises along Old Port Wakefield road adding to the diversity of the Town Centre precinct.

PUBLIC REALM

The public realm of the Town Centre Precinct will reinforce the 'country town' character of Two Wells. The development of the Main Street will protect and enhance its physical and visual qualities.

Street tree planting is encouraged to create shade and amenity throughout the precinct and particularly along Old Port Wakefield Road and within the formalised parking areas. Longer term undergrounding of the power lines will be required to achieve an uncluttered and cohesive urban realm.

Additional landscape treatment will be required to provide amenity as well as reinforcing the human scale of the Main Street. Opportunities exist for water sensitive urban design interventions that will increase stormwater management and the sustainability of vegetation within the town

BUILDING DESIGN

Continued activation of shop frontages is required to create an animated and vibrant appearance to the Main Street. The design of new buildings and that of infill development will need to reflect the diversity of building forms and styles that currently exist.

New buildings along the north side of Old Port Wakefield Road should not exceed existing facade widths in order to maintain the visual continuity of the street. Dramatic changes in roof pitch are discouraged and new roof structures should not differ from those that already exist. The 'stepping' of roof lines will be encouraged reflecting the existing rhythm of the street.

Commercial facades will express a high void to solid ratio, where the windows and door openings activate the frontages and reinforce the permeability of the precinct in terms of the physical and visual. In addition, building forms will use windows and doorways to minimise scale of facades.

Limit building heights to two storeys with verandahs and/or balconies to increase the articulation and variation of the facades. Ensure that building heights do not exceed or dominate that of the State Heritage listed Fruit & Veg building at the centre of the main street.

Roof canopies should provide shading to footpaths where necessary while still allowing room for street tree planting.

LANDSCAPING

Ensure that landscape treatments within the streetscape and parking areas provide significant levels of amenity and beauty. Street trees are encouraged to create a strong landscape edge to the street that compliments the landscape development of other precincts particularly the Market Square.

Street tree planting will be supplemented with garden beds and climbers to building's facades and side boundaries to increase the amenity of the precinct as well as providing additional microclimatic modification. Plant selections will be a combination of native and exotic species building on the current plantings within the town.

Water sensitive urban design features will be considered as part of future streetscape upgrades and the development parking areas and laneways creating sustainable landscapes within the town.

DESIGN GUIDELINES BUILT FORM and FUNCTION

- Development should contribute to a contemporary, sophisticated urban realm through design, materials and detailing
- Develop active facades with 10-12 metre frontages and building forms that reflect the grain and scale of the precinct
- Ensure facades express a high ratio of solid to void ratio with doorways and articulation increasing the permeability and activation of the built form
- Develop continuous verandahs with a minimum height of 2 metres and maximum width from the building line of 2.5 metres.
- Develop side streets and encourage additional laneways where contiguous building frontages exceed 40 metres.
- Building depth not to exceed 40m
- Encourage mixed use planning vertically (commercial, retail and hospitality land uses with potential offices and flats above ground floor premises)
- Encourage aged care and residential land uses along Applebee Road to reinforce the residential and precinct edge to the north.
- Side boundaries should be articulated with 'in' steps, windows, facade treatment and/or landscaping that create additional activity
- Establish off street parking at the rear of new buildings in conjunction with existing parking areas to provide a formalised parking within the precinct
- Respond to existing overshadowing from adjacent buildings and/or trees.
- Use windows and doorways to minimise scale of facades



- Articulate doorways and window openings with brick, masonry or render surrounds
- Seek to maintain a diverse roofline within the precinct using hipped, flat and gabled roof profiles to minimise uniformity (ensure rooflines reflect existing the character and rhythm of the streetscape)
- Incorporating horizontal sun shading to north facing windows and vertical shading to east and west facing windows
- Limit building heights to two storey with verandahs and/or balconies with building heights not to exceed that of the State Heritage Listed Fruit & Veg building (with reference to setback recommendation)
- Increase building scale and density along Applebee Road in response to the outbuilding vernacular of the area
- Construct buildings of solid construction with a preference for stone, brick or render finish and encourage the use of stone walling to define property boundaries.
- Establish a 15 metre minimum vertical setback height for development adjacent State Heritage Listed building
- Incorporate signage into built form or roof canopy structure to reduce ground level clutter

PUBLIC REALM and LANDSCAPE

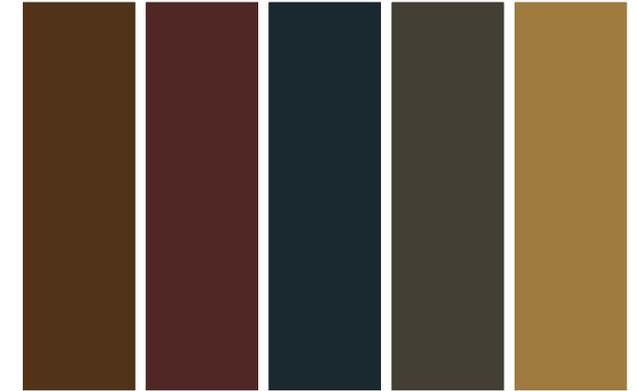
- Develop street furniture and public realm features that are sympathetic with heritage character (avoid historic reproduction)
- Encourage street trees along Old Port Wakefield Road
- Underground powerlines
- Establish shared use connections between buildings providing informal access and visual permeability
- Preserve heritage character of the precinct through the select of materials, finishes and colours that are sympathetic with the vernacular and surroundings or the precinct
- Provide bicycle parking
- Provide "all access" ramps as part of the built form
- Design parking and access areas to ensure compatibility between all forms of movement; pedestrian, wheelchair, cyclist and vehicular (including service and emergency)
- Incorporate large canopy trees within parking area, every 4 to 6 cars, within the central medians allowing for 2m wide tree pits
- Trees with parking areas should not impinge on visibility and should clear stemmed to a minimum of 2.5m above ground level
- Screen service areas, air conditioners, plant, antennas, towers, satellite dishes and other service facilities from streets, public spaces and adjoining properties
- Provide visual interest for pedestrians, not just passing vehicles, through a more human, intimate scale and detail of street frontages
- Design entries to be clearly identifiable elements within building facades
- Ensure service related areas such as loading,

truck parking and storage are to be integrated within the building form or screened from public view

- Fencing lengths along the main street are to be kept to a minimum to reduce non-active frontages
- Ensure new development does not affect the capacity or the ability for high quality landscape treatments along streets and laneways
- Provide natural surveillance, through viewing opportunities and vista to streets and public open space areas.
- Avoid concealed alcoves, dark areas, and hidden entrances which limit passive surveillance.
- Provide consistent lighting and clear sightlines along laneways and street and across parking areas and ensure that safe pedestrian routes are provided
- Design new developments to provide good lighting, surveillance and visibility of open spaces, building entrances and car parking areas.

DESIGN PALETTE

- Stone walling and brick detailing to provide solidity to building form
- Glass
- Paving areas to use stone and brick to reflect the building vernacular.



1. Activation of frontages and edges with a high proportion of windows and doors.
2. Integration of seating and tree planting within precinct.
3. Development of shared use lane ways and parking areas.
4. More desirable side alleys linking into the main street.
5. Potential integration of paving details to create town wide themes.
6. Creation of congregation spaces at nodes along the pedestrian area.

DESIRED CHARACTER

The Civic and Community Precinct builds on the planned layout of the town which separates the civic and commercial functions. The existing Institute building & Library as well as the Old Court House create a defined civic core which will be maintained.

The potential relocation of the Council offices from Mallala to Two Wells will reinforce the community land use of the precinct completing the Old Port Wakefield streetscape facade to the southern side and providing opportunities for a contemporary signature building that honours the existing grandeur of the existing civic buildings within Two Wells.

The staged removal of detracting elements from this precinct including the old industrial buildings, RSL building and Police buildings should be considered to provide redevelopment opportunity, creating higher amenity, civil & community facilities and public realm.

The desired character of the Civic and Community Precinct should respect the heritage of the locality and at the same time demonstrate the significance and contemporary role of council and public service providers within the District of Mallala.

FUNCTION

The Civic and Community Precinct focuses on the provision of community related services. It is anticipated that the existing function of the library will be retained and expanded as future demand for library access continues (the 'Third Place'). In

addition, the development of new council offices provides the opportunities for a signature building within the streetscape that marks the precinct and the town.

Other community facilities will complete the precinct and will include Police, CFS and Ambulance services forming a new civic heart that will reflect the historic fabric and future prospect of the town.

PATTERN OF DEVELOPMENT

The existing pattern of development will be retained and in-filled with a variety of footprints and building forms that reflect the civic nature of the buildings. It is anticipated that buildings will have a strong presence to the street with an equally defined edge to the Commercial Precinct to the south west.

While a defined building edge is required, buildings should have separation to create visual and physical permeability. Laneways will penetrate the precinct reflecting the use of access ways in other parts of the town such as Petticoat Lane.

Parking and service area will be integrated within the building form, concealed or internalised to minimise the visual impact of these areas on the wider locality.

PUBLIC REALM

The civic and community purpose of the precinct will be reflected in the public realm. Paving and landscape areas will be well designed using quality materials. There will be a good provision

of seating and areas for congregation reflecting the community value of the precinct.

Landscape treatment including paving and tree planting will be used to create a legible urban realm with defined entrances and access ways through the precinct. Landscape treatments are designed to create significant levels of shade and amenity.

BUILDING DESIGN

Reference should be drawn from the historic building frontages and forms along Old Port Wakefield Road in order to provide a cohesive streetscape that combines heritage and contemporary buildings. Building footprints, scale and bulk will vary, reflecting the diversity of building functions associated with the Civic and Community Precinct. While diversity is encouraged, building forms must be sympathetic to the historic form of the precinct and suitable offsets should be achieved from heritage listed buildings.

The siting & design of new buildings should reflect the role of this precinct as a bridge between the town centre and commercial precincts, with active frontages to both Old Port Wakefield road and the car parking and bus area to the south west. Built form on the corner of Old Port Wakefield road and Park road should actively front on to both roads to create defined entrance to the Civic and community precincts.

The material palettes and colour schemes used in future developments should complement the existing heritage character reflecting the existing urban form and context.

LANDSCAPING

The landscape treatments will reinforce the civic qualities of the precinct, providing amenity. When adjacent the heritage buildings landscaping should be low level and not create any visual barriers.

DESIGN GUIDELINES BUILDING FORM AND FUNCTION

- Building frontages should not to exceed 20m without significant articulation or building separation to disrupt the visual mass of the development
- Building position should promote permeability between adjoining precincts, with setbacks and separation between built form to achieve high quality, safe public laneways
- Seek to establish a maximum roofline height of 8-10m, while respecting the visual prominence of the Library roof line
- Encourage multiple roof pitches to create a fragmented roofline
- Seek to articulate side facades with windows, entrances, material and landscape treatments (possible green walls & climbers) that create visual activation
- Use windows (preference for vertical) to minimise scale of facades and articulate window openings with brick, masonry or render surrounds
- Select materials, finishes and colours to be sympathetic with the heritage character and surroundings
- Incorporating horizontal sun shading to north facing windows and entrances as well as vertical shading to east and west facing windows
- Effectively screen roof plant rooms, air conditioning services and other equipment from view using roof structures and architectural elements designed as an integral part of the building
- Construct buildings of solid construction with a preference for stone, brick or render finishes
- Align buildings to footpath setbacks to facilitate verandahs
- Buildings to be a mixture of single and double storey that respond to the adjacent (retained) building forms (particularly the Library)
- Ensure buildings provide legible entrances to front and rear that respond to dual access requirements of the precinct.
- Screening or fencing lengths should not exceed 10m without articulation.
- Design parking and access areas to ensure compatibility between all forms of movement; pedestrian, wheelchair, cyclist and vehicular (including service and emergency)
- Incorporate large canopy trees within parking area, every 4 to 6 cars, within medians allowing for 2m wide tree pits
- Trees within parking areas should not impinge on visibility and should be carefully maintained to ensure a minimum of 2.5m above ground level before the main branch structure
- Design entries to be clearly identifiable elements within building facades
- Ensure service related areas such as loading and storage are to be integrated within the building form, internalised or screened from public view without impacting negatively upon views through to adjoining precinct
- Ensure new development does not affect the capacity or the ability for high quality landscape treatments along streets and laneways
- Provide natural surveillance, through viewing opportunities and vista to streets and public open space areas.
- Avoid concealed access points, dark areas, and hidden entrances which limit passive surveillance.
- Provide consistent lighting and clear sightlines along laneways and streets and across parking areas and ensure that safe and legible pedestrian routes are provided
- Design new developments to provide good lighting, surveillance and visibility of open spaces, building entrances and car parking areas.
- Provide bicycle parking

PUBLIC REALM AND LANDSCAPE

- Development should contribute to a contemporary, sophisticated urban realm through design materials selection and detailing
- Establishment of pedestrian links between buildings to rear loaded parking and service areas
- Develop water sensitive urban design (WSUD) techniques where possible within road reserves, parking areas and public open space areas for the collection and treatment of stormwater
- Provide "access for all" ramps as part of new and existing building forms
- Provide good quality landscaping or screens where views particularly along laneways terminate at car parking areas and other undesirable elements



1. Maintaining existing building dimensions, orientation and distance from road.
2. New buildings should be sympathetic in their design to create continuity with existing buildings.
3. Encourage contemporary design responses.
4. Create high quality urban design to reflect the significance of the civic precinct.
5. Future development of the area should seek to maintain a high level of design and a consistent use of materials that compliments the existing architecture.
6. The mixed use of hard and soft surfaces is encouraged to create a high quality urban environment.



line
order
doorways
encouraged
physical
articulation
current terms
planting

development
express
existing
Main
already
cohesive
exists
window
buildings
solid
heights
Wells
materiality
style
void
within
surrounds
precinct
compliments
rhythm
Two
widths
country
commercial
frontages
edge
human
sensitive
new
provide
design
line
level
strong
reinforce
dramatically
locality
supplemented
visual
character
Institute
allows
required
landscapes
forms
high
particularly
side
water
precinct
building
well
Post
blend
maintain
centre
microclimatic
facades
turn
increase
surrounding
Proposed
minimise
exceed
town
public
visual
diversity
single
door
suitable
significant

5.4_MIXED USE

DESIRED CHARACTER

The desired character of the Mixed Use Precincts builds on the existing building form and intent of the Town Centre Precinct. The precincts enable further growth within the town providing additional space for commercial, administrative, retail and office activities as well for health practitioners.

Flexibility and adaptability will be critical requirements of future building forms and function. The development of these areas should be responsive, meeting the immediate and/or changing needs of Two Wells, providing small scale catalysts for change within the urban fabric of the town.

FUNCTION

Mixed used areas are envisioned along the extension of Old Port Wakefield Road between Two Wells Road and Mallala Two Wells Road as well as in-fill development between the Old Court House building and proposed commercial precinct. These areas will provide a variety of opportunities for commerce, designed to meet future demands for property within the town.

Existing historic buildings should be retained although this should be balance against the required function of development.

PATTERN OF DEVELOPMENT

The mixed use precinct will be formed by a combination of existing and new development to the west of the town and new building adjacent to the commercial precinct to create a cohesive streetscape.

The urban fabric will be punctuated by laneways and access point that maintain a sense of permeability throughout the precinct.

The pattern of development will continue the existing urban fabric of the town, providing access and activation within the precinct. Parking areas will be concealed behind the Main street or prominent entrance.

PUBLIC REALM

The public realm of the Mixed Use Precinct aims to reinforce the country town character of Two Wells. A well designed public realm with suitable landscape treatments will be required providing amenity as well as reinforcing the human scale of the precinct. The public realm should blend with other precincts to create a cohesive urban realm.

The provision of a service station at the north eastern end of the main street adjacent the Gawler road should be considered within this precinct.

Opportunities also exist for water sensitive urban design interventions that will increase stormwater management in the precinct.

BUILDING DESIGN

The scale, built form and materiality will reflect the existing character of the Main Street. The design of new building and infill development should recreate a diversity of building forms and style.

New buildings between the Old Court House and the commercial precinct should not exceed the existing facade widths or height of surrounding building particularly the Post Office in order to create maintain the visual continuity of the town centre.

Dramatic changes in roof pitch are discouraged and new roof should not differ dramatically from that already existing within the locality. The 'stepping' of roof lines will be encouraged so that the height and roof line that exists in the Main Street is repeated reinforcing the existing built form rhythm of Two Wells.

Proposed facades will express a high void to solid ratio, where the windows and door openings activate the frontages and reinforce the permeability of the precinct in terms of the physical and visual. Doorways and window openings will be articulated with brick, masonry or render surrounds.

Limit building heights to single storey with verandahs to increase the articulation and variation of the facade, as well as shade provision. Where appropriate, open air canopies should be considered for outdoor dining to provide further opportunities for streetscape activation and increased amenity.

Encourage dual access built form that allows greater permeability through the building fabric and in turn throughout the precinct.

LANDSCAPING

Ensure that landscape treatments within the precinct provide significant levels of amenity. Street trees are encouraged to create a strong landscape edge to the street and other walkways that compliments the landscape development of other precincts.

Street tree planting will be supplemented with garden beds and climbing plants to buildings facades and side boundaries to increase the amenity of the precinct as well as providing additional microclimatic modification. Plant selections will be a combination of native and exotic species, building on the current plant palette within the town.

Water sensitive urban design features will be considered as part of future development creating sustainable landscapes within the town.

DESIGN GUIDELINES BUILT FORM and FUNCTION

- Development should contribute to a contemporary, sophisticated urban realm through design, materials and detailing
- Develop active facades with 10-12 metre frontages and building forms that reflect the grain and scale of the precinct and wider locality
- Ensure facades express a high ratio of solid to void ratio with doorways and articulation increasing the permeability and activation of the built form
- Encourage the development of verandahs with a minimum height of 2 metres and maximum width from the building line of 2.5 metres.

- Develop side streets and encourage addition laneways where contiguous building frontages exceed 40 metres.
- Building depth not to exceed 40m
- Consider single storey development between the Old Court House and commercial precinct and increase building heights to a maximum of 3 storeys within the mixed use precinct to the north western edge of town
- Encourage mixed use planning vertically (commercial, retail and hospitality land uses with potential offices and flats above ground floor premises)
- Side boundaries should be articulated with 'in' steps, windows, facade treatment and/or landscaping that create additional activity
- Establish off street parking at rear of new buildings in conjunction with existing parking areas to provide formalised parking within the precinct
- Reduce the bulk of south facing facades in the NW mixed use precinct to limit overshadowing
- Use windows and doorways to minimise scale of facades
- Articulate doorways and window openings with brick, masonry or render surrounds
- Seek to maintain a diverse roofline within the precinct using hipped, flat and gabled roof profiles to minimise uniformity (ensure rooflines reflect existing the character and rhythm of the streetscape)
- Incorporate horizontal sun shading to north facing windows and vertical shading to east and west facing windows
- Construct buildings of solid construction with a preference for stone, brick or render finish
- Encourage the use of stone walling, open metal fencing or landscape treatments to

define property boundaries and discourage enclosed front fence lines.

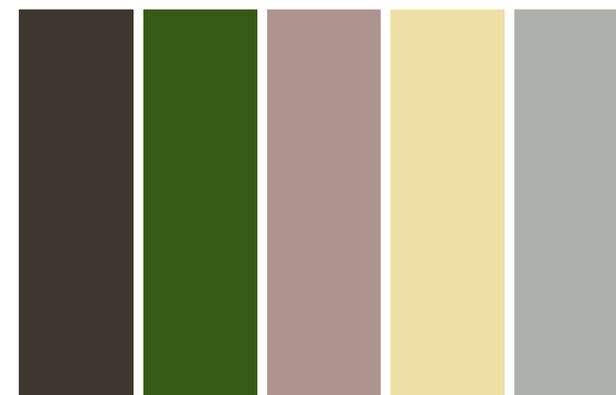
- Design entries to be clearly identifiable elements within building facades
- Incorporate building signage as part of the respective built form above typical eyeline to maintain clear views through precinct and reduce ground plane visual & physical clutter
- Ensure that finished floor heights respond to Council flood mapping

PUBLIC REALM and LANDSCAPE

- Develop street furniture and public realm features that are sympathetic with heritage character of the town (avoid historic reproduction)
- Encourage street trees along Old Port Wakefield Road and as a landscape buffer to the commercial precinct
- Underground powerlines
- Preserve the heritage character of the precinct through the selection of materials, finishes and colours that are sympathetic with the vernacular and surroundings of the precinct
- Provide bicycle parking
- Provide "all access" ramps as part of the built form development
- Design parking and access areas to ensure compatibility between all forms of movement; pedestrian, wheelchair, cyclist and vehicular (including service and emergency)
- Incorporate large canopy trees within parking areas, every 4 to 6 cars, within medians that allow for 2m wide tree pits
- Trees with parking areas should not impinge on visibility and should be clear stemmed

to a minimum of 2.5m above ground level to encourage passive surveillance

- Screen air conditioners, plant, antennas, towers, satellite dishes and other service facilities from streets, public spaces and adjoining properties
- Ensure service related areas such as loading and storage are to be integrated within the building form or screened from public view
- Ensure new development does not affect the capacity or the ability for high quality landscape treatments along streets and laneways
- Screening or fencing lengths should not exceed 10m without articulation
- Provide natural surveillance, through viewing opportunities and vista to streets and public open space areas
- Avoid concealed dark areas, and hidden entrances which limit passive surveillance
- Provide consistent lighting and clear sightlines along laneways and streets and across parking areas and ensure that safe pedestrian routes are provided
- Design new developments with good lighting, surveillance and visibility of open spaces, building entrances and car parking areas.



1. Develop contemporary architectural styles that respond to the town vernacular of two wells.
2. Intergrate landscape treatment to create a cohesive urban realm.
3. Encourage the use of materials that are sympathetic to the character of the town; brick, stone, timber, metal and glass.
4. Consider shade use on access roads and parking areas.

DESIRED CHARACTER

The Commercial Precinct will accommodate the future expansion of the town and its ability to meet the expectation of Two Wells' community. Originally an informal public open space located between the Main Street and Port Wakefield Road, the Commercial Precinct provides the opportunity for a contemporary retail development that reflects the country town and district centre character of Two Wells.

The Commercial precinct will demonstrate how retail and commercial expansion within country towns can add to their character and vibrancy rather than detract or negatively impact.

FUNCTION

The Commercial Precinct will be developed as a new shopping centre to complement the function of the Two Wells main street, with large shops, supermarkets and retail facilities.

The Commercial Precinct will add to the vitality of Two Wells, meeting future demand as the town becomes a significant district activity centre.

PATTERN OF DEVELOPMENT

Establish large footprint developments that create adequate floor areas suitable for contemporary retail operation. Seek to create contiguous development that provides a solid building form which backs on to the Port Wakefield Road corridor enabling the built form to produce a suitable buffer to the impacts of the highway.

Establish strong connections between the Town Centre and Commercial Precincts in terms of pedestrian and vehicular access. Provide continuous pedestrian walkways with high levels of shade, shelter and amenity.

Develop adequate parking with easy access to shop frontages and walkways to encourage use and activation as well as connection between the new development and existing town centre.

PUBLIC REALM

The public realm of the Commercial Precinct should balance the demand of pedestrian access and amenity with vehicular function. Parking areas and access roads should be well designed with suitable landscaping to provide shade and visual amenity (particularly applicable to parking areas).

Pedestrian connections must be legible and designed with paving materials and street furniture that reflects the character of Two Wells. Landscape and urban infrastructure should extend to adjoining precincts to create a seamless public realm.

The public realm should consider opportunities for sustainability in relation to social engagement, the environment and energy usage. Consider community activation through seating and congregation, lighting, planting and water sensitive urban design solutions.

Commercial developments should not create visual clutter through the excessive use of signage that detracts from the architectural form of the precinct. Optimally signage should be incorporated into the built form of respective (individual) premises. Stand-alone multi-sign towers are not deemed appropriate, due to their visual impact on the country character of the town.

BUILDING DESIGN

The building design of the Commercial Precinct will reflect the country town/agricultural vernacular, creating an agricultural narrative of large 'working' buildings and barns on the edge of the town. New buildings will be designed with gabled roofs and stepped facades that fragment the scale and form of the commercial development. The resulting visual effect will create the impression of a group of building rather than a single dominant visual mass.

The orientation and design of the proposed development must respect the architectural forms, styles and materials of Two Wells. Every effort should be made to harmonise future development with the existing character of the town and should not dominate the important heritage character of the town. Building facades will feature a high void to solid ratio, where the windows and entrances are used to create active frontages.

Careful consideration should be given to the design and function of service areas. Areas of hard standing will be minimised to limit the impact of yards on surrounding open spaces (namely the Two Well Cultural Precinct). Screens, mounding and landscape buffers will be used to separate service yards, truck access roads and open spaces.

The function of service areas (back of house) should not limit the built form quality. Consideration should be given to the visual impact of the Commercial Precinct on Port Wakefield Road and the potential opportunities to promote the significance of the town and the commercial development through design, signage and landscape treatments.

LANDSCAPING

New commercial developments will seek to provide high levels of landscape amenity, shade, public realm beautification, connectivity of existing and new habitat areas, stormwater management and the concealment of service infrastructure.

Landscaping should enhance the overall appearance of commercial areas, car parks and other facilities.

The locality of the Commercial Precinct next to the existing open space and the Cultural Precinct; and other areas of landscaping, lends itself to the integration of green roof systems, vertical gardens, WSUD elements that in turn will assist with climatic modification and passive cooling.

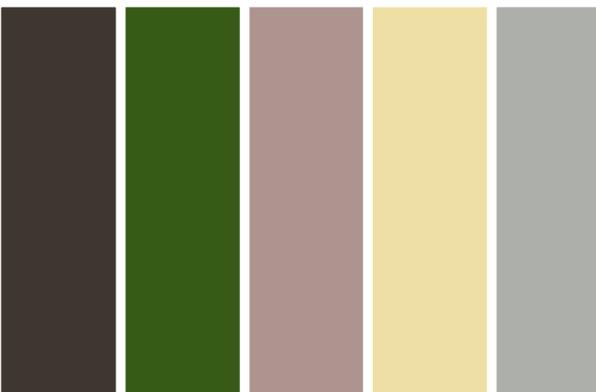
DESIGN GUIDELINES

BUILT FORM and FUNCTION

- Consider developing 2500m² of floor space (stage 1) that meets contemporary retail requirements
 - Establish a working or agricultural building vernacular for the precinct and use materials such as brick, sandstone, corrugated metal cladding and timber
 - Building frontages should not to exceed 20m without significant articulation or building separation to disrupt the visual mass of the development
 - Seek to establish a maximum roofline height of 7-9m
 - Design entries to be clearly identifiable elements within building facades
 - Encourage multiple roof pitches to create a fragmented roofline and the appearance of numerous buildings located in close proximity, rather than a single development.
 - Establish building overhangs and verandahs of at least 3m along active frontages to provide suitable levels of amenity and shelter.
- Seek to articulate side facades with windows, entrances, material and landscape treatments (possible green walls) that create visual activation.
 - Use windows (preference for vertical) to minimise scale of facades and articulate window openings with brick, masonry or render surrounds
 - Effectively screen roof plant rooms, air conditioning services and other equipment from view using roof structures and architectural elements designed as an integral part of the building
 - Ensure service related areas such as loading and storage are to be integrated within the building form or screened from public view
 - Select materials, finishes and colours to be sympathetic with the character and surroundings
 - Staging of development should relate to demand to ensure the sustainable development and growth of the precinct over time.

PUBLIC REALM and LANDSCAPE

- Design parking and access areas to ensure compatibility between all forms of movement; pedestrian, wheelchair, cyclist and vehicular (including service and emergency)
- Design parking and access pathways to promote sharing of carparking with other land uses/precincts, especially the town centre and market place
- Provide good quality landscaping or screens where views (particularly along laneways) terminate at car parking areas and other undesirable elements
- Establish pedestrian links between buildings to rear loaded parking and service areas
- Incorporate large canopy trees within parking area, every 4 to 6 cars, within medians allowing for 2m wide tree pits
- Trees with parking areas should not impinge on visibility and should clear stemmed to a minimum of 2.5m above ground level
- Screen air conditioners, plant, antennas, towers, satellite dishes and other service facilities from streets, public spaces and adjoining properties
- Provide visual interest for pedestrians, not just passing vehicles, through a more human, intimate scale and detail of street frontages
- Ensure new development does not affect the capacity or the ability for high quality landscape treatments along streets and laneways
- Provide natural surveillance, through viewing opportunities and vista to streets and public open space areas.
- Avoid concealed alcoves, dark areas, and hidden entrances which limit passive surveillance.
- Provide consistent lighting and clear sightlines along laneways and street and across parking areas and ensure that safe pedestrian routes are provided
- Design new developments to provide good lighting, surveillance and visibility of open spaces, building entrances and car parking areas.
- Maintain and develop vistas and views out of the precinct to surroundings open space and adjacent precincts



1. Use of vegetation as a means of softening car park edges and creating a permeable pedestrian link.
2. Encourage quality design resources that reflect the country town or agricultural context of two wells.
3. Create active edges to the commercial precinct increasing retail opportunities.
4. Integrate car parking providing amenity and shade within the precinct.
5. Establish landscape plantings within the precinct.

DESIRED CHARACTER

The Market Place builds on the community's desire to create a heart or centre of activity within Two Wells. Existing open space treatments such as the food trail and historic walk demonstrate the community spirit of the town and the Market Place will be a renewed expression of this pride.

FUNCTION

The Market Place will be a multi-function open space in the centre of the Main Street; an area of community activity as well as accommodating weekend or week day markets, civic gatherings, parties and other celebrations. The Market Place will be a response to the changing face of Two Wells – a counterpoint to new development and urban expansion. The open space provided by the Market Place will allow opportunities for social congregation or individual reflection, a place for new and existing communities to interact and grow.

PATTERN OF DEVELOPMENT

The Market Place will be located adjacent to the library. It will be accessible from Old Port Wakefield Road and predominantly from the car park associated with the Commercial Precinct.

PUBLIC REALM

The Market Place will act a permeable transition between the commercial shopping centre and the Main Street providing pedestrians access and interaction as well as a visual connection.

Public art will be integral part of the Market Place. Art works will reflect the history and community of the area, building on the existing commemorative elements that feature on the site currently.

It is anticipated that vehicular access around the perimeter of the Market Place will develop as a shared use zone so that pedestrians and vehicles can utilise the space without dominating the public realm. Ground surface treatments of this area should be designed to accommodate heavier vehicle loads while also reflecting the human/pedestrian scale and focus of the precinct. Shared use areas should be clearly linked to pedestrian crossings providing connections to surrounding precincts.

An overflow market area at the southern edge of the precinct will act as a transition between the market place and main carpark area. This space will be designed as a flexible shared use zone, enabling for the expansion of the event/market space when required while functioning as a carpark at other times.

Some shade structures will be developed in the space providing shade and shelter; however, their design should maintain permeability through the space when constructed.

The public realm of Market Place will include seats and benches to encourage community activation. Services and facilities such as water, power, bin storage and other public amenities including drinking fountains should also be integrated into one design of the marketplace.

The provision and location of new publicly accessible toilet facilities should also be considered, possibly in association with the library building to maintain visual permeability through the marketplace.

LANDSCAPING

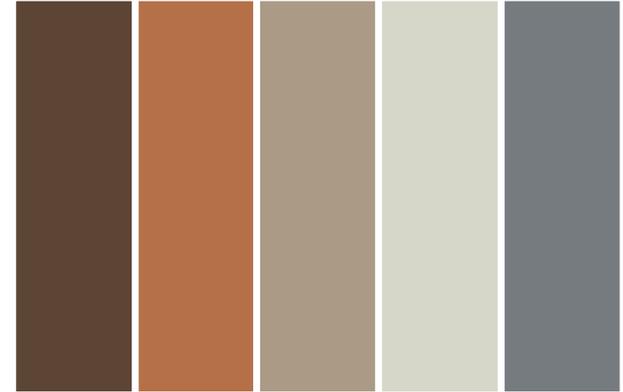
Ensure that landscape treatments within the Market Place provide significant levels of amenity, as well as maintaining the flexible adaptability of the space for different events. Existing street trees are retained or planted to create a strong landscape edge to the street that compliments the landscape development of other precincts.

The tree planting will be supplemented with lawns, garden beds and hedges to define the spatial form of the precinct, increase the amenity of the precinct and provide additional microclimate modification. The plant selection will be a combination of native and exotic species building on the current plantings within the town.

Water sensitive urban design features will be considered as part of future streetscape upgrades and the development parking areas and laneways creating sustainable landscapes within the town.

DESIGN GUIDELINES

- The public realm should contribute to a contemporary, sophisticated urban environment through the design, materials selection and detailing of external spaces
- Select durable materials and finishes that are sympathetic with the character and will provide a significant open space legacy for the town
- Encourage the integration of the Market Place and Commercial Precinct through the design of parking and access areas to ensure compatibility between areas – consider share use paving areas that provide adaptive open spaces accommodating parking, market spaces and hard standing suitable for civic functions (particularly with interface to the Commercial Precinct)
- Provide access to water, power and data to maximise adaptability and potential of area for events
- Explore public art works that commemorate the history and sense of community within the town, consider both aboriginal and European histories and narratives
- Retain larger existing tree to eastern edge of the Market Place and supplement with additional tree plant to create a strong landscape setting within the centre of Two Wells
- Incorporate large trees to reinforce the landscape context of the Market Place
- Establish a hierarchy of footpaths that provide access to and through the open space
- Ensure that footpaths are a minimum of 1.8m wide and provide all-weather access
- Employ water sensitive urban design (WSUD) techniques where possible within road reserves and public open space areas for the collection and treatment of stormwater
- Provide “access for all” ramps
- Trees to the perimeter should not impinge on visibility and should be clear stemmed to a minimum of 2.5m above ground level
- Provide natural surveillance, through viewing opportunities and vista to streets and public open space areas.
- Provide consistent lighting and clear sightlines across the Market Place to ensure that safe pedestrian routes are maintained
- Ensure that plant selection are well suit local to environmental conditions and future climatic change
- Establish water efficient water use and irrigation systems
- Ensure that landscape areas provides habitat for local native fauna such as small birds, butterflies, bats, lizards and frogs
- Select materials and systems that have low energy consumption
- Considering sustainably and locally sourced materials and products
- Incorporate porous surfaces to allow water to permeate and increase stormwater inundation
- Minimise lawn areas use as a highlight within the public realm
- Use subsurface irrigation



1. Vibrant market square with temporary stalls selling locally sourced produce and artisans work.
2. Create an adaptive open space with alternative programs such as art work and outdoor events.
3. A cohesive selection of materials should link the surrounding spaces & create focal cues.
4. Ensure adequate provision of seating to encourage community gathering and engagement
5. A boulevard should provide links to the surrounding areas.
6. The provision of shelter and seating on the boundaries of the space will make in more inhabitable.



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5.7_GREEN SPACE & LANDSCAPE CORRIDORS

DESIRED CHARACTER

The green space and landscape corridors of Two Wells will provide a natural refuge from the urban fabric of the town. These spaces surround the town, connect the rural edges and define the urban form of the town.

FUNCTION

The Landscape Framework is a town-wide initiative that will define and reinforce the natural qualities of the town. Not only will it be recognisable as a set of green linkages through the town, but it will also provide aesthetic value, amenity and shading.

It is anticipated that the green spaces will also provide opportunities for footpath connections, stormwater management and habitat creation, reinforcing the sustainable objective of the town and environmental responsibility of future development.

The green space is intended to be established as a buffer zone between Two Wells, Port Wakefield Road and the surrounding residential (existing and proposed) land uses.

It is anticipated that this open space used by locals and tourists as access to the natural environment.

PATTERN OF DEVELOPMENT

The green space will comprise of a cohesive hierarchy of spaces and plantings. This will include vegetation corridors, structural and specimen tree planting, amenity landscape and specimen shrubs. There will be scope for avenues of trees along street edges reinforcing the structure of the town (once overhead powerlines have been relocated in some areas).

Developed as a naturalistic open space absent of development, the green space will include informal open space, tree and shrub planting, habitat corridors and wetlands. There will be the capacity for a network of informal pathways to create links to proposed and existing developments, particularly the proposed residential development to the northwest.

The green space around Two Wells is not intended to simply be open space, but should seek to provide an adequate level of complexity in its design to encourage exploration and interaction.

It will also seek to provide stormwater and flood mitigation, particularly in relation to Council's flood mapping for the township.

PUBLIC REALM

Development of green space should allow permeability without any extensive restriction of pedestrian movement. It should cater for accessibility and amenity.

There exists the potential for the integration of green roof technology and vertical gardens into new buildings in order to improve biodiversity and improve landscape connection as well as long term energy efficiency.

Sustainable water catchment systems from new buildings may be considered for the potential irrigation of new landscape infrastructure.

Pathways in the green space should have appropriate signage to indicate routes around Two Wells. It is recommended that these pathways cater for walkers and cyclists, and that vehicular access should be prevented.

Earth mounding should be considered as a preventative measure against noise pollution from Port Wakefield road corridor.

LANDSCAPING

It is recommended that the landscaping of the Greenspace is installed so that a cohesive identity can be established, resulting in a landscape maturity and scale equal to the new urban form.

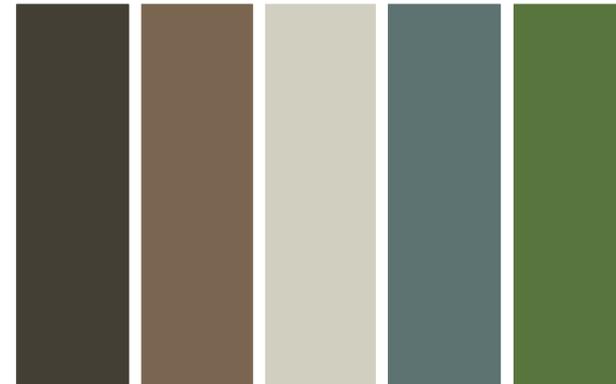
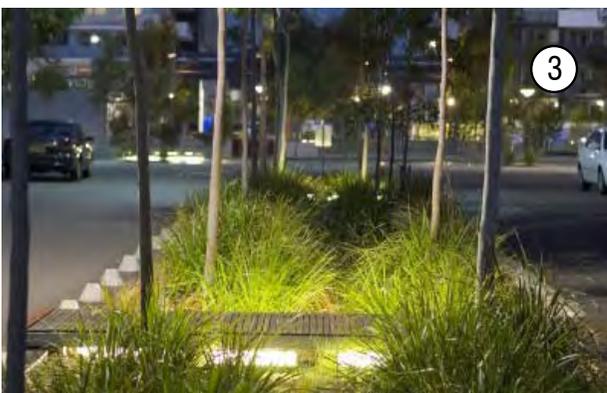
New tree planting should not impede the views along the main streets and should not block to immediate views of heritage buildings.

The choice of species should be carefully considered for drought tolerance, the provision of shade, amenity value and species origin.

The planting selection for the town centre may comprise of a mixture of native and exotic species, whilst areas closer to, and adjacent to the rural edge of the town should consider more native species. The use of any existing biodiversity plan for the town & region is recommended when selecting plant species.

DESIGN GUIDELINES

- Ensure that plant selection is well suited to local to environmental conditions and future climatic change
- Develop a hierarchy of landscape treatments that respond to location and function of plantings
- Establish a hierarchy of footpaths that provide access to and through the open space
- Ensure that footpaths are a minimum of 1.8m wide and provide all-weather access
- Employ water sensitive urban design (WSUD) techniques where possible within road reserves and public open space areas for the collection and treatment of stormwater
- Provide natural surveillance, through viewing opportunities and vista to and from streets and public open spaces
- Establish water efficient water use and irrigation systems
- Ensure that landscape areas provides habitat for local native fauna such as small birds, butterflies, bats, lizards and frogs
- Select materials and systems that have low embodied energy
- Consider sustainably and locally sourced materials and products
- Incorporate porous surfaces to allow water to permeate and increase stormwater inundation
- Minimise lawn areas and use as a highlight within the landscape spaces



1. Permeability through the spaces without any extensive restriction to pedestrian movement.
2. Consider the use of native and exotic species closer to the town centre and with parking areas.
3. Implementation of stormwater gardens to lessen the effects of flooding and to utilise the water.
4. Consider opportunities to create high quality landscapes that provide areas for social integration, amenity and social benefit.
5. Provide formal access within landscape areas to increase connectivity between precincts.
6. Provision of informal pathways throughout the green spaces around the edge for the use of walking and cycling by locals & tourists.

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DESIRED CHARACTER

The Cultural Precinct of Two Well represents the origins of the town. This significant place will recognise and reinforce, illustrating how the town has developed and where it began – a living history and continuing narrative for the township of Two Wells.

FUNCTION

Opportunities to clearly define the cultural precinct should be taken, which seek to enhance existing historical references and create new ones where historical significance has been less apparent.

The future development of the precinct will aim to revitalise the history of the area, increasing accessibility, interpretation, landscape amenity and parking.

PATTERN OF DEVELOPMENT

The Cultural Precinct responds to the existing form of the area. The location of the wells will be retained and other landscape areas developed. Footpath and parking area will improve access as well as accommodating larger vehicles such as caravans and buses.

PUBLIC REALM

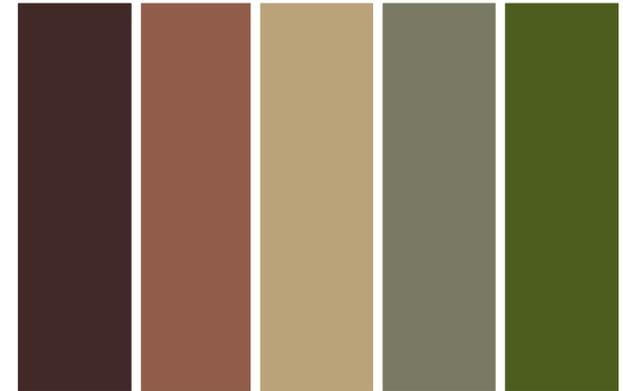
Given the relevance of the actual two wells after which the town is named, appropriate access should be given to these landmarks. There is capacity to link these with informal trails within the greenspaces that surround the town.

LANDSCAPING

Planting should be used to enhance open spaces and the landscape context around the Cultural Precinct adding to and refining without cluttering the space.

DESIGN GUIDELINES

- Develop the precinct by contributing to the historic and cultural value of the space through its design, the selection of materials and detailing
- Integrate parking areas and landscape treatment to create a cohesive setting
- Seek to use public art to reinforce the cultural and heritage value of the precinct
- Establish of pedestrian links
- Seek to create an indigenous landscape setting that reinforces the cultural context of the precinct
- Employ Water Sensitive Urban Design (WSUD) techniques where possible within road reserves and public open space areas for the collection and treatment of stormwater
- Provide “access for all” paths and entry points
- Design entries that are clearly identifiable elements
- Look to reuse existing commemorative paving within the design as well as encouraging new commemoration of the site



1. Improve the significance of the to historic two wells.
2. Create greater awareness of the history and culture of the town.
3. Retention and enhancement of historic references to former agricultural industries.
4. Improve seating and amenity.
5. Provide clearly defined pathway systems to navigate areas of historic value as well as provide link to other areas.
6. Provide parking and access points that reflect the character and value of precinct (revisit the urbanisation of the cultural precinct).



6.0_STRUCTURE PLAN

A STRATEGIC APPROACH TO THE GROWTH OF TWO WELLS

The structure plan for Two Wells provides the township with a strategic development programme that is aligned to future growth requirements, land release opportunities and the needs of the community over the next 10 to 15 years. This forward thinking approach is supported by a series of plans that illustrate land use, transport corridors, open space provisions and environmental proposals that are anticipated.

AIMS OF THE STRUCTURE PLAN

- Establish a spatial vision for the progressive development of the Two Well Town Centre, achieving sustainable development in relation to encouraging future investment, maintaining the existing character of the town and providing for the future needs of the community at both a local and State level.
- Establish priorities for land release, development and land use changes.
- Establish priorities for environmental protection and enhancement.
- Identify critical access corridors and improvements to the connectivity of the town.
- Identify opportunities for community infrastructure in terms of open space, public gathering spaces, pedestrian and cycle networks and community facilities.

The correct placement and improvement of assets within the town centre is the most significant opportunity for the creation of a sustainable and vibrant Two Wells into the future. The design, development and integration of commercial, civic, cultural and open space facilities will provide the township with a lasting legacy.

The structure plan responds to an assessment of the town, various community consultations and the objective set by the urban design guidelines. The aim of the plan is to ensure that future proposals are aligned with the existing context of the town, community aspirations as well as Government policy in relation to the 30 Year Plan for Greater Adelaide.



6.1_TWO WELLS PRESENT DAY



6.2_TWO WELLS 2010-2015



6.3_TWO WELLS 2015-2020



6.3_TWO WELLS 2020-2025



7.0_MARKET PLACE CONCEPT DESIGN

MARKET PLACE CONCEPT DESIGN

The Two Wells Market Place is intended as an adaptable, multi-functional space, which incorporates legible transitional spaces for pedestrian and vehicular movement.

The space will operate as a vibrant hub of creativity through the accommodation of temporary installations, such as markets and art exhibitions, and revert to an inviting space for congregation on other occasions.

The overflow market area will allow for expansion of the market over time, with the flexibility for becoming a stage area for larger community events.

Bandings of hard and soft landscape elements will create a sense of identity and connectivity to other spaces, which will be replicable in the design of spaces peripheral to the Market Space.

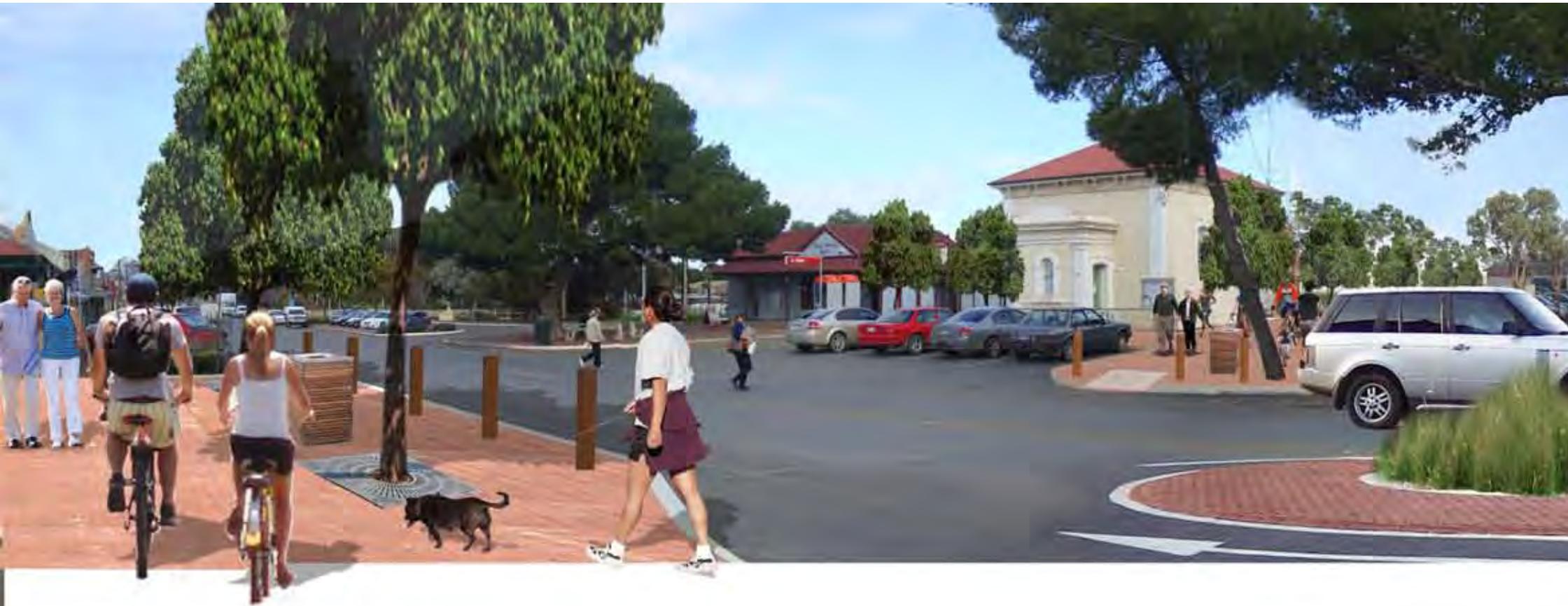
The paved shared use laneway will promote a pedestrian focused environment, with the option to close this roadway to vehicles for community events.

LEGEND

1. Library (former Institute Building) and new public amenities (south)
2. Hard pave area with formalised public gardens potentially reusing commemorative elements
3. Lawn Area; multi function space for market use and other community events
4. Market overflow area
5. Paved pathway with tree planting
6. Shared use roadway with potential for closure during community events
7. Landscaped cycle/pedestrian connection from main street to green space, integrated with mixed use/community precinct development
8. Proposed specialty stores
9. Old Court House Building
10. Development of roundabout
11. Street furniture
12. Pedestrian crossing
13. Aleppo Pine trees at top of main street retained

7.0_MARKET PLACE CONCEPT DESIGN

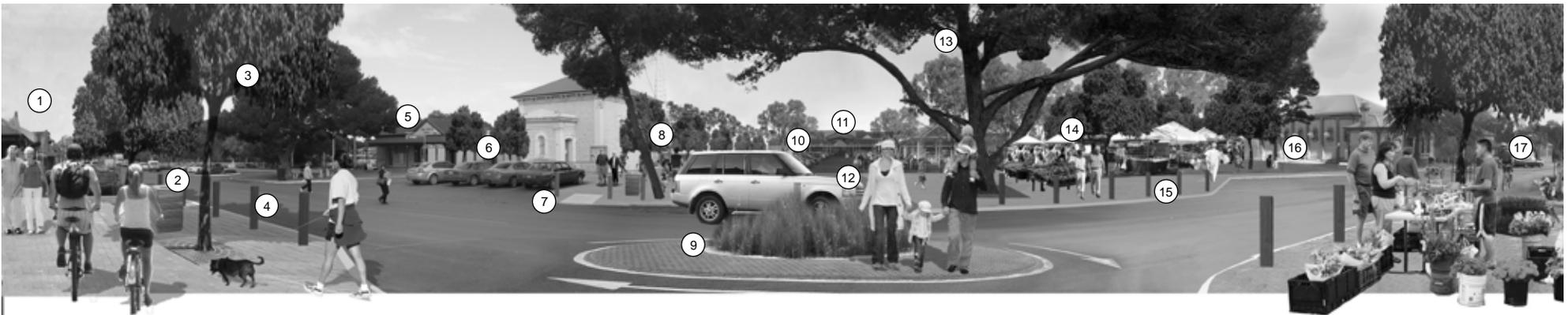








Current view from the high point of Old Port Wakefield Road



1. Longer term removal of overhead powerlines to declutter the streetscape
2. Establishment of bespoke street furniture and fixtures in keeping with the town's character and materiality
3. Increased street tree planting
4. Timber bollards adjacent key crossing points
5. Refurbishment/upgrade of shop fronts and heritage facades
6. Streetscape improvements; tree planting and removal of non-active frontages (fencing)

7. Establishment of crossing points close to key pedestrian/cycle links to enhance permeability
8. Pedestrian and cycle connection from Main Street to Historic Two Wells Park
9. New landscaped roundabout to facilitate traffic movement to future commercial facilities
10. Landscaped car parking areas with covered walkways and tree planting for shade provision
11. Future commercial facilities with scale, form and materiality in keeping with the town character
12. Shared use (pedestrian/vehicle) roadway

13. Retention of significant character trees
14. Development of Market Place with
15. Kerb protruberances in high activity areas to promote pedestrian culture
16. Relocation of existing toilet to improve visual amenity allow for strong connection between community facilities and the Market Place
17. Creation of bicycle lanes along main street, and laneways, linked to residential areas outside town centre



The Main Street Design Guidelines for Two Wells provides a clear direction and vision as to the future growth of the Two Wells Town Centre, by balancing the expansion of commercial and community facilities with the existing spatial framework of the town. These guidelines are designed to ensure that the unique character of Two Wells is retained as the town expands to meet the needs of its growing community.

As a development assessment tool, these guidelines will enable Council, Government and developers to work together to achieve developments that fit appropriately within individual precincts as well as with the broader masterplan for the town.

The staging plan adds another layer of guidance, promoting the integration of the existing township with new development to encourage integrated activation of these facilities by the community, whilst avoiding the creation of two competing centres, which is likely to result in the economic decline of Two Wells existing town centre.

Finally, the Market Place concept plan builds upon the core community values expressed within the existing Masterplan. Providing a tangible vision of how this important community space could look and feel if the design guidelines for the Main Street were to be embraced; creating a vibrant place of public gathering and activity that will act as a catalyst for the revitalisation of the Town Centre, whilst reinforcing the character of the town and its history.

8.0_CONCLUSION

APPENDICES

INTRODUCTION

The following analysis summaries information received during the Community Consultation Sessions held 29 May & 16 June 2010 in the Two Wells Library & Community Centre respectively.

Community Session 1 presented two options as improvements on the KBR Master Plan.

Community Session 2 presented a third option incorporating improvements based on community and Council feedback on the two options from Community Session 1.

COMMUNITY SESSION 1 (Saturday (Day) 29 May 2010) SUMMARY

Attendance records were lodged for 44 residents

47 'sticky dots' were posted on the 'Master Planning' panel

20 dots were posted with preference for Planning Option 2

13 dots were posted with preference for Planning Option 1

COMMUNITY SESSION 2 (Wednesday (Night) 16 June 2010) SUMMARY

Attendance records were lodged for 16 residents

105 'sticky dots' were posted on the 'Master Planning' panel

18 dots were posted with preference for Planning Option 3

0 dots were posted with preference for Planning Option 1

2 dots were posted with preference for Planning Option 2

PREFERRED PLANNING OPTIONS SUMMARY

The community showed a preference for Option 2 during Community Session 1 when compared to the KBR Master Plan

The community showed a preference for Option 3 during Community Session 2 when compared to Options 1 & 2

GENERAL NOTES

Preference vote tallies include dots posted for 'Strongly Support' and 'Support'
Refer to Analysis Sheets for voting details

Lodgement of Survey Forms closes 25 June 2010 Well's future in mind, these diagrams graphically illustrate the expected expansion of a town's footprint as its population grows.

MASTERPLANNING



Strengths

- Strong main street presence
- Adequate parking
- Provision of a 'Market Place'
- Greenbelt connecting Two Wells Heritage precinct (south east)
- Strong connection between future commercial & town centre- optimum for commercial.

Weaknesses

- Lack of Northeast- Southwest connection
- Connection of market place to heritage precinct limited
- Effect of service access on heritage precinct
- Impact of larger commercial extending to the north west

Planning Option 1

STICKY DOT LEGEND

- 0-17 years
- 18-34 years
- 34-64 years
- 65+ years

strongly support	support	not sure	opposed	strongly opposed
0	 13	 4	 3	 2

MASTERPLANNING

- Strengths**
- Strong connection of open space
 - Continuous link between market place and heritage precinct
 - Green belt development around future town centre
 - Less impact of service access on green belt

- Weaknesses**
- Fragmentation of commercial development
 - Commercial development located further from town centre

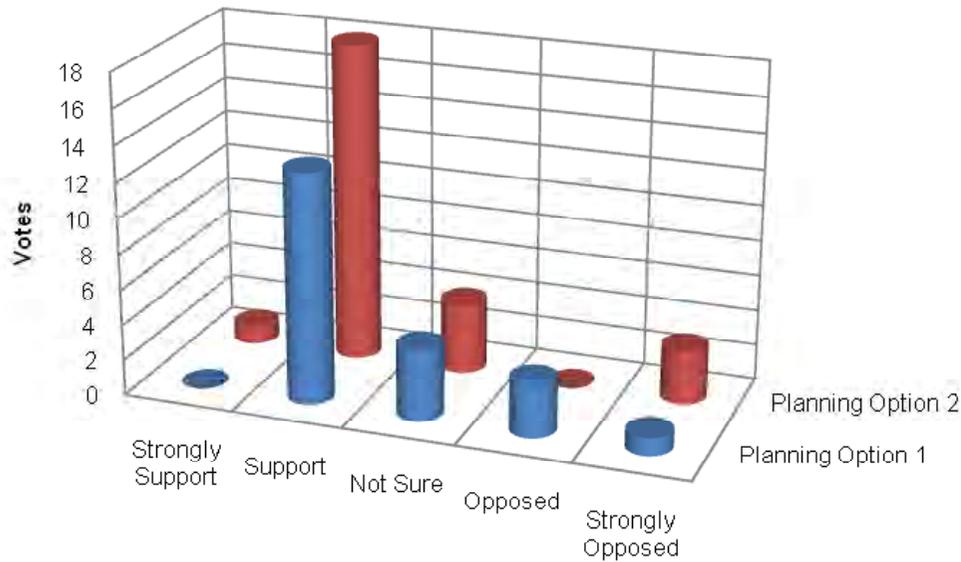


PREFERRED OPTION → **Planning Option 2**

strongly support	support	not sure	opposed	strongly opposed
● 1	●●●●●●●●●●●●●●●●●●●● 19	●●●● 4	0	●●●● 3

ANALYSIS

DESIGN CHARACTER PREFERENCES



	Strongly Support	Support	Not Sure	Opposed	Strongly Opposed
■ Planning Option 1	0	13	4	3	1
■ Planning Option 2	1	18	4	0	3

GENERAL ANALYSIS

- support for integration of natural & built environments
- opposition to large plazas & areas of open car parking



preferred images 3 = result from consultation

What materials, forms and spaces do you think relate best to Two Wells' character?

A grid of 20 images showing various design elements like materials, forms, and spaces. Each image has a small table below it with three columns: 'Support', 'Not sure', and 'opposed'. Three images are highlighted with red borders: a park area with trees and a red path, a green lawn with a stone pillar, and a field with a deer.

Image	Support	Not sure	opposed
1	3	2	4
2	4	2	5
3	0	0	8
4	5	1	8
5	4	5	3
6	1	1	13
7	5	1	3
8	1	1	13
9	4	2	5
10	12	1	0
11	5	2	1
12	3	3	5
13	0	1	12
14	3	1	5
15	1	1	10
16	9	3	1

PLANNING OPTION 1

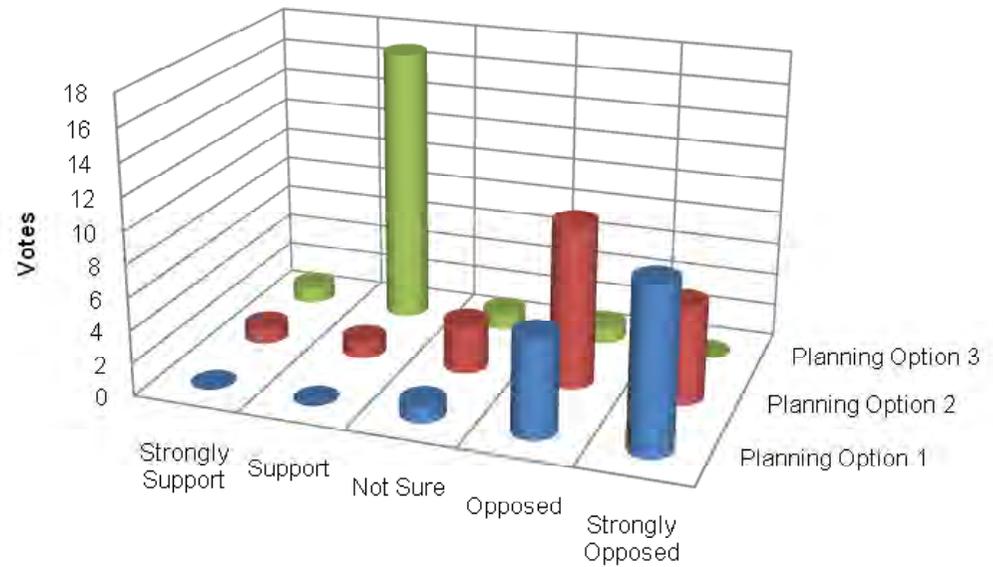


strongly support	0
support	0
not sure	1
opposed	6
strongly opposed	10

SUMMARY OF STICKY NOTE COMMENTS...

- Need to plan for a public transport interchange
- All development should nurture the town character
- Need to consider aged, independent, frail and active care
- Consider water issues
- Locate CFS & Ambulance above flood levels

**Wednesday (Night) Session
Options 1 -3 Support Analysis**



	Strongly Support	Support	Not Sure	Opposed	Strongly Opposed
■ Planning Option 1	0	0	1	6	10
■ Planning Option 2	1	1	3	10	6
■ Planning Option 3	1	17	1	1	0

PHOTOS OF CONSULTATION DAYS



TWO WELLS MAIN STREET PROJECT

Market Plaza (concept only)

Community Consultation Survey Outcomes
DRAFT ISSUE for surveys received to 21 June 2010



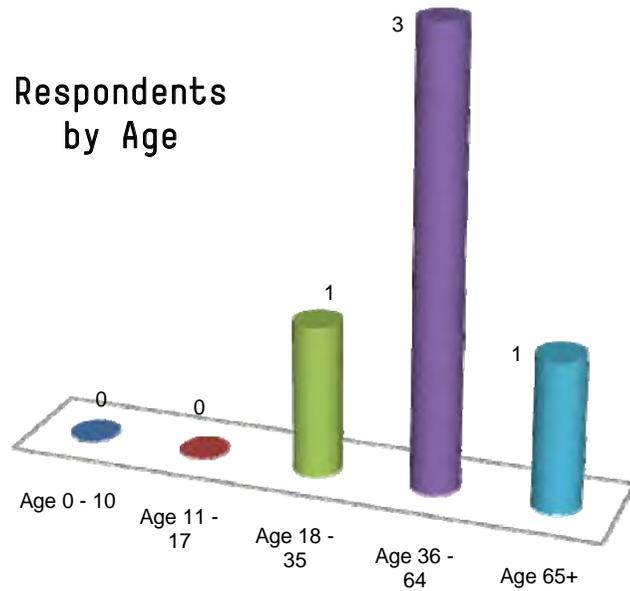
Partnered by The District Council of Mallaala & Places for People



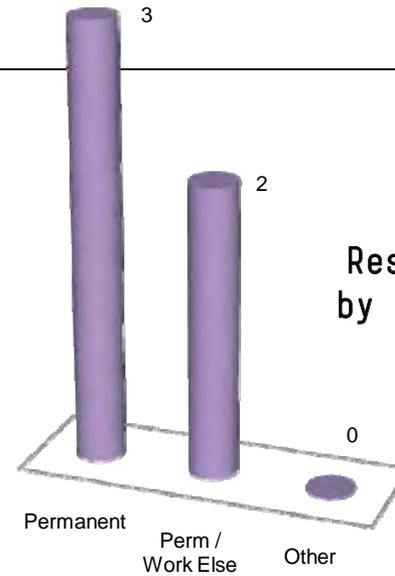
RESPONDENT DATA

To date five (5) Survey Forms have been received and the following charts summarise respondent characteristics.

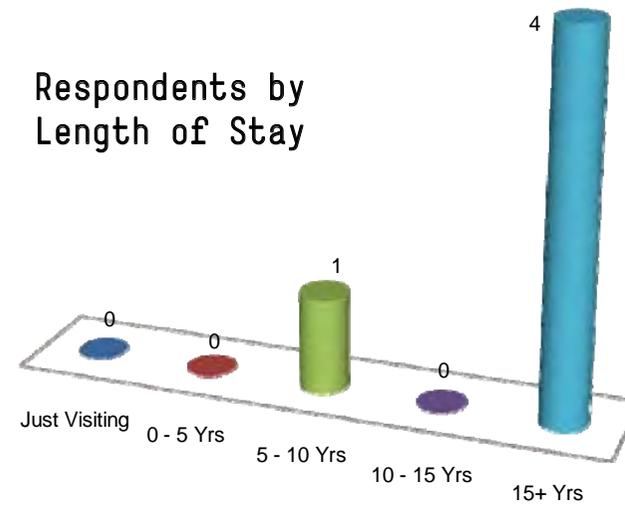
Respondents by Age



Respondents by Lifestyle



Respondents by Length of Stay

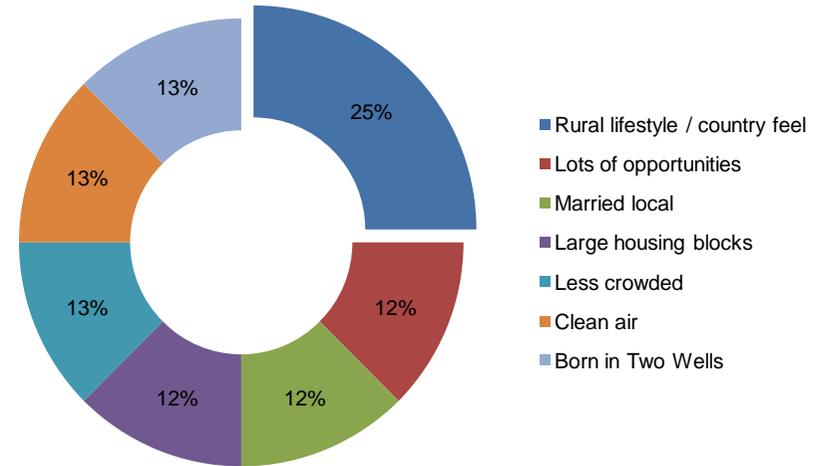


TOWN CHARACTER

What attracts you to Two Wells?

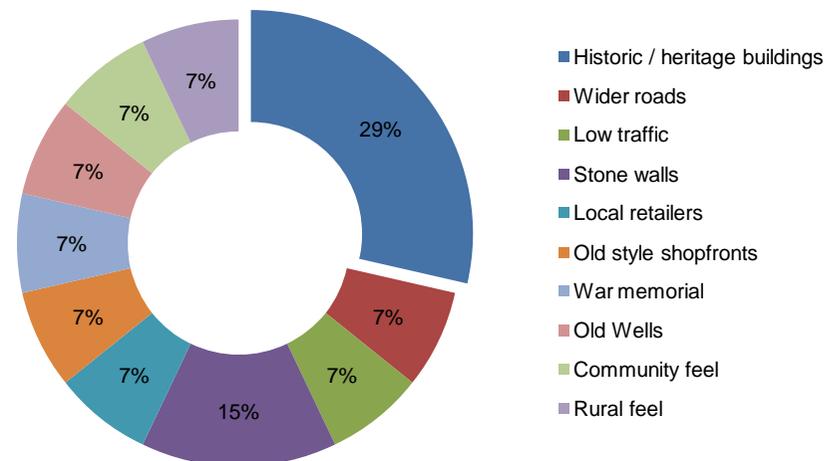
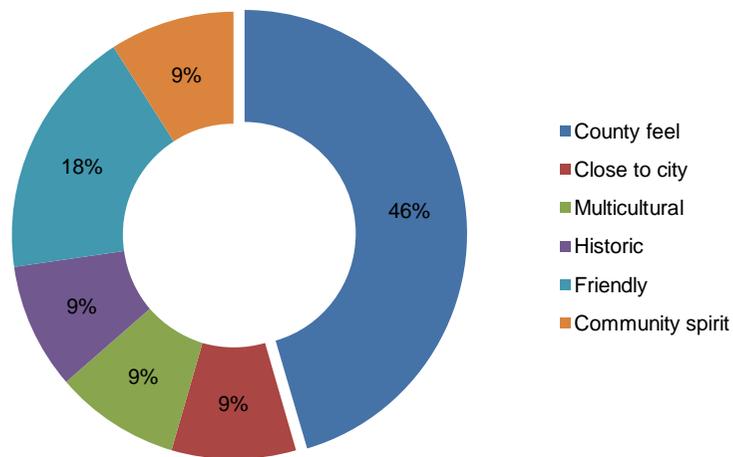
These charts highlight responses to questions regarding town character. The following trends are noted:

- Rural lifestyle and country feel are important
- Friendly nature of town is important
- Historic and heritage qualities are valued



How would you describe Two Wells Character?

What are the important town features that describe the character of Two Wells?

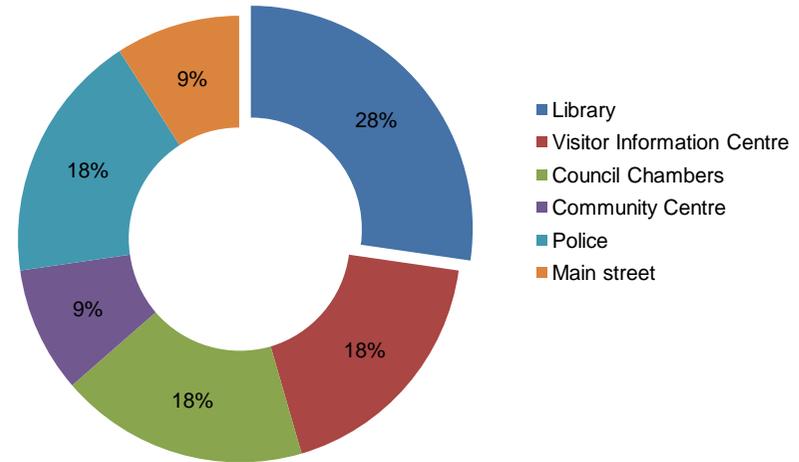


FACILITIES USE

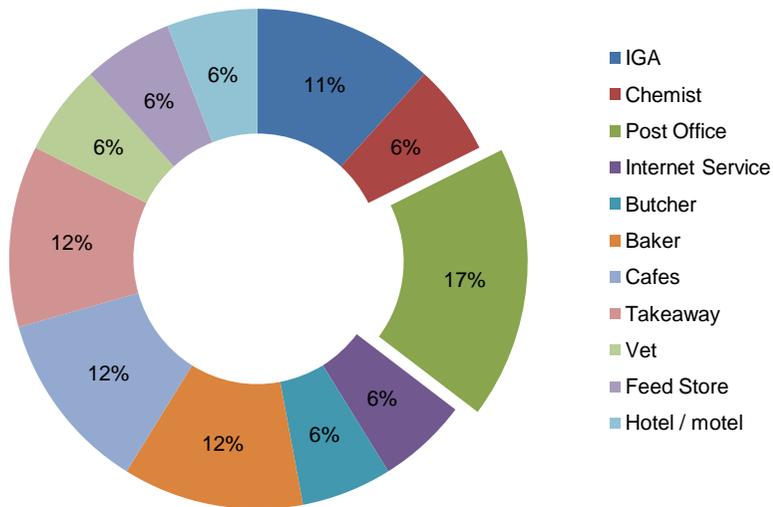
What Community / Council Facilities do you use?

These charts highlight respondent use of town facilities.
The following trends are noted:

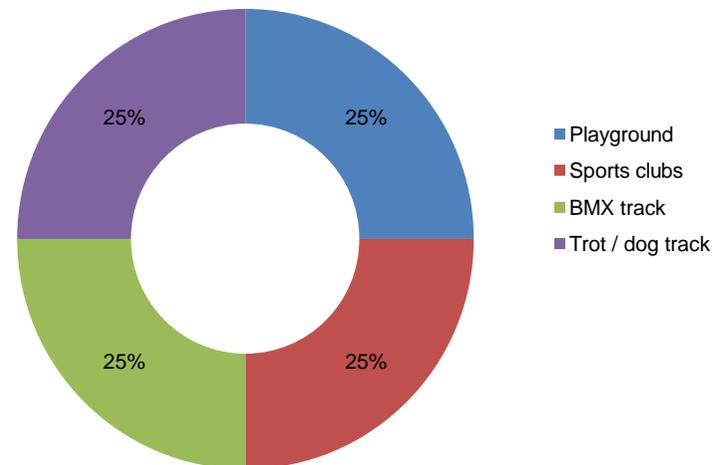
- Library, Visitor Information Centre, Council Chambers and Police are important Community / Council Facilities
- The Post Office is an important 'Retail' Facility
- No trends have been formulated for Recreational Facilities due to the low respondent count



What Retail Facilities do you use?



What Recreational Facilities do you use?

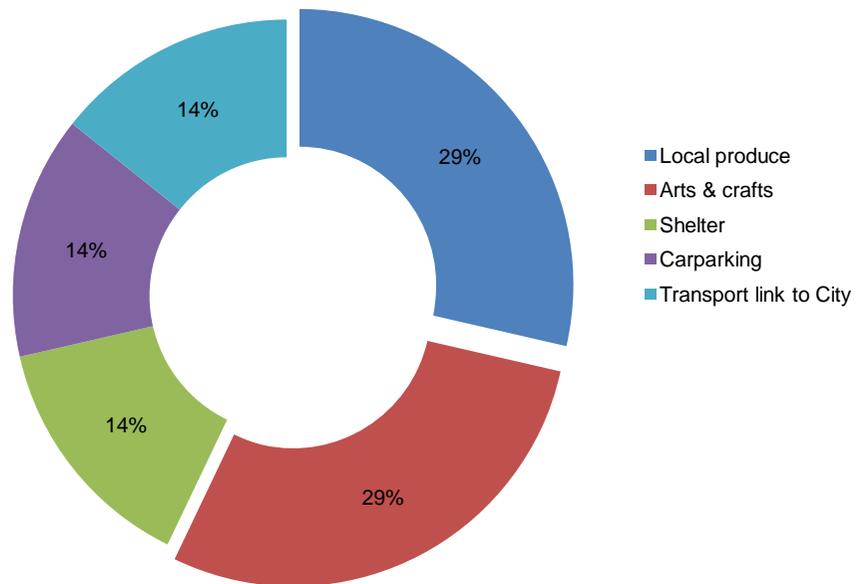


TOWN + MARKET PLACE IMPROVEMENTS

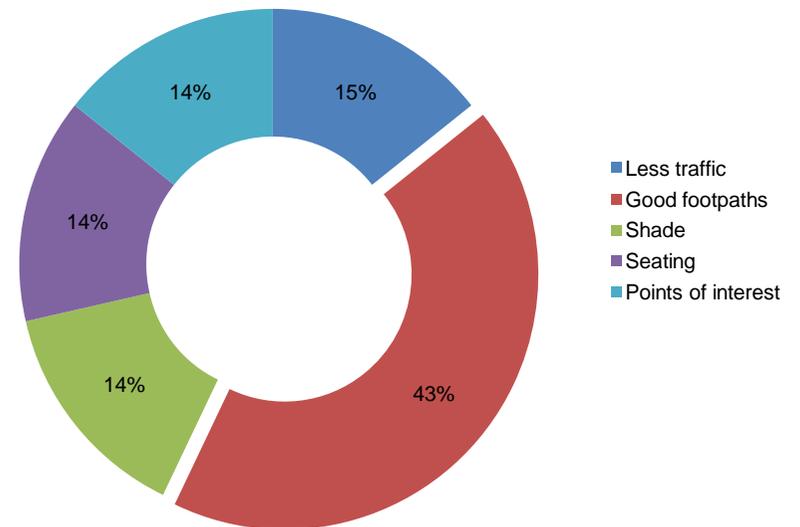
These charts highlight responses to the future of the Market Plaza and improvements to town 'walkability'. The following trends are noted:

- Local produce, art and craft features are important to the Market Plaza facilities
- Footpath improvements are important to making the town more 'walkable'

What facilities & services should the Market Plaza include?



What should the Town Centre include to make it more 'walkable'?



ADDITIONAL COMMENTS

The following general comments have been taken from surveys received to date.

What connections do you think Two Wells has in the region?

- Central to other areas as a 'commuter town'
- A gateway Short stay destination
- Pass through traffic
- Farming town / country hub to city
- Iconic / historic town Do not understand the question

What are your big ideas for the Two Wells Town Centre?

- No big ideas - leave as is
- PA system
- Bury power lines
- Keep historic / heritage building style
- Keep town feel / character

Do you have any other comments?

- Utilise trotting & dog ovals for new shopping complex
- Don't spoil our town / turn it into a suburb
- Keep town feel
- Keep local / small traders

